



LAND USE SERVICES DEPARTMENT PLANNING COMMISSION STAFF REPORT

HEARING DATE: February 22, 2024

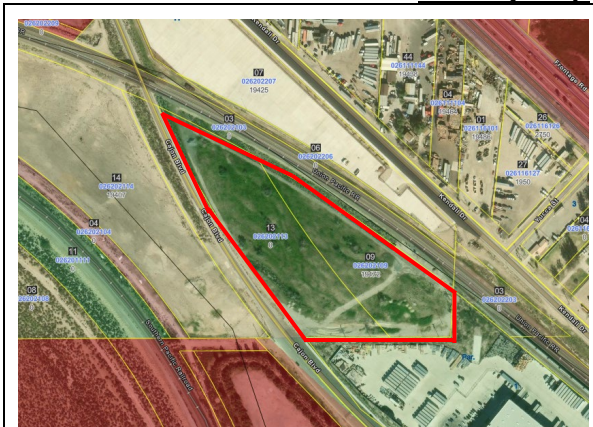
Project Description

APNs: 0262-021-09 and 13

Applicant: Parviz Razavian
Community: San Bernardino/5th Supervisorial District
Location: 19472 Cajon Boulevard

Project No: PROJ-2021-00066
Staff: Azhar Khan, Senior Planner
Rep: Martina Masarani
Proposal: A Conditional Use Permit to construct a truck terminal with a 28,680 sq. ft. cargo terminal on a 9.2-acre lot in two phases: 1) Phase I - 9,360 sq. ft. cargo terminal with a truck vehicle repair shop, 2) Phase II - 19,320 sq. ft. cargo terminal.

AGENDA ITEM #3 Vicinity Map



10 Hearing Notices Sent on : February 7, 2024

Report Prepared By: Azhar Khan, Senior Planner

SITE INFORMATION:

Project Size: 9.2-Acres
Terrain: Mostly flat
Vegetation: Natural Vegetation

TABLE 1 – SITE AND SURROUNDING LAND USES AND ZONING:

| AREA | EXISTING LAND USE | LAND USE CATEGORY | LAND USE ZONING DISTRICT |
|-------|--|--------------------------|--|
| SITE | Vacant | Special Development (SD) | Glen Helen Specific Plan- Heavy Industrial (GH/SP-HI) |
| North | Truck Terminal | Special Development (SD) | Glen Helen Specific Plan- Corridor Industrial (GH/SP-CI) |
| South | Industrial Warehouse | Special Development (SD) | Glen Helen Specific Plan- Heavy Industrial (GH/SP-HI) |
| East | Truck Terminal | Special Development (SD) | Glen Helen Specific Plan- Corridor Industrial (GH/SP-CI) |
| West | Proposed Truck Terminal/Currently Vacant | Special Development (SD) | Glen Helen Specific Plan- Corridor Industrial (GH/SP-CI) |

| | Agency | Comment |
|---------------------------|---|------------|
| City Sphere of Influence: | City of San Bernardino | No comment |
| Water Service: | San Bernardino Municipal Water Department (SBMWD) | No comment |
| Sewer Service: | (SBMWD) | No comment |

STAFF RECOMMENDS: That the Planning Commission **ADOPT** the Mitigated Negative Declaration; **ADOPT** the findings for approval of the Conditional Use Permit; **APPROVE** the Conditional Use Permit, subject to the Conditions of Approval; and **DIRECT** staff to file the Notice of Determination. ¹

¹ In accordance with Section 86.08.010 of the Development Code, the Planning Commission action may be appealed to the Board of Supervisors.

Figure 1
Vicinity Map

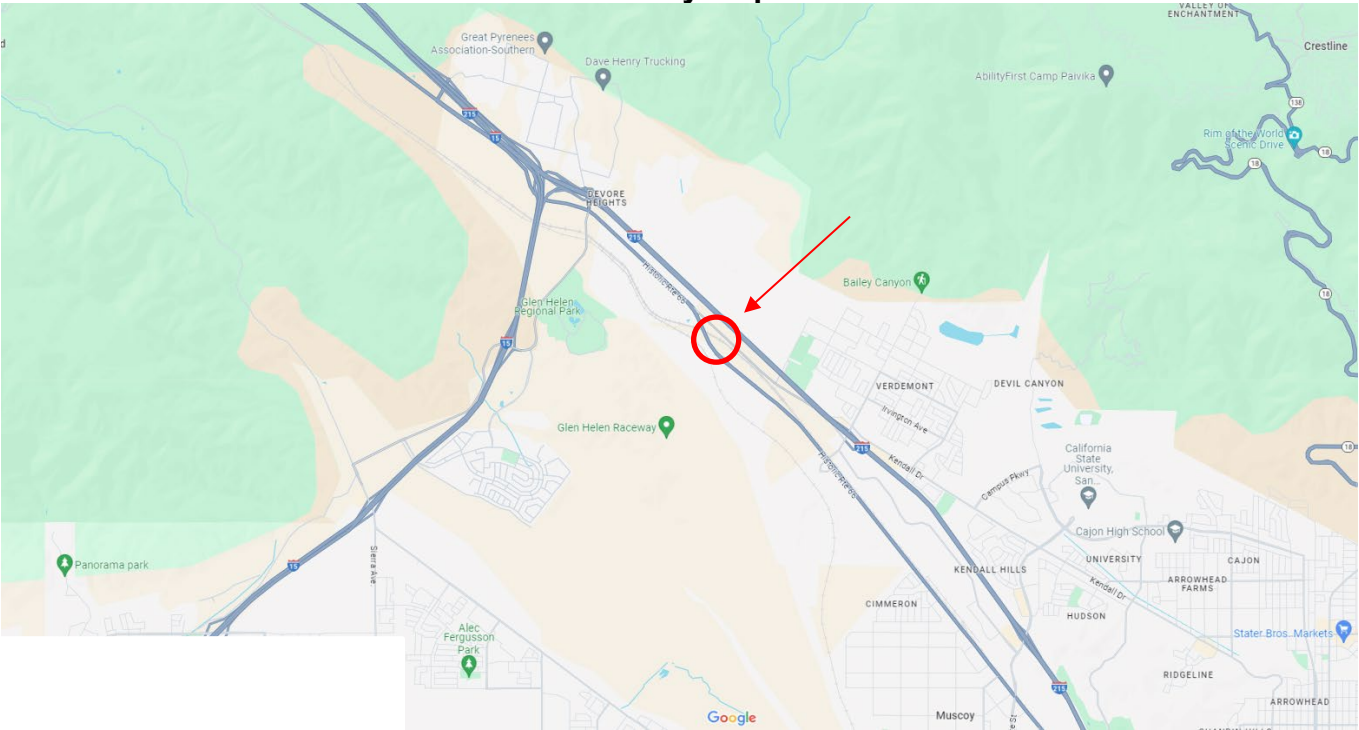
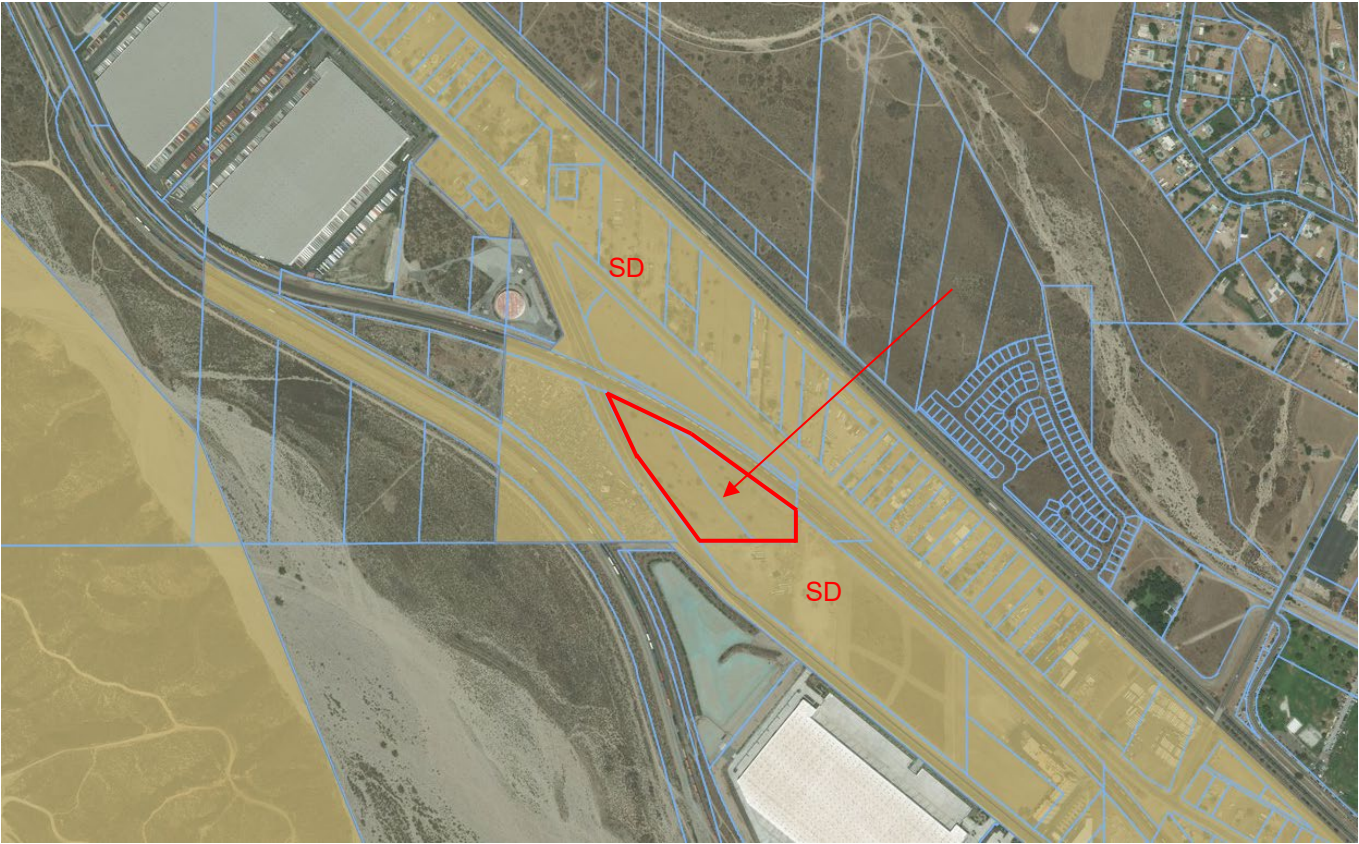


Figure 2
Land Use Category
Special Development (SD)



Legend

SD – Special Development

Figure 3
Official Land Use District Map
Zoning
GH/SP-HI



Legend

CI – Corridor Industrial
HI- Heavy Industrial
RR- Existing Road/Railroad

Figure 4
Aerial Map



Figure 5
Site Plan



Figure 6
Zoomed in Site Plan

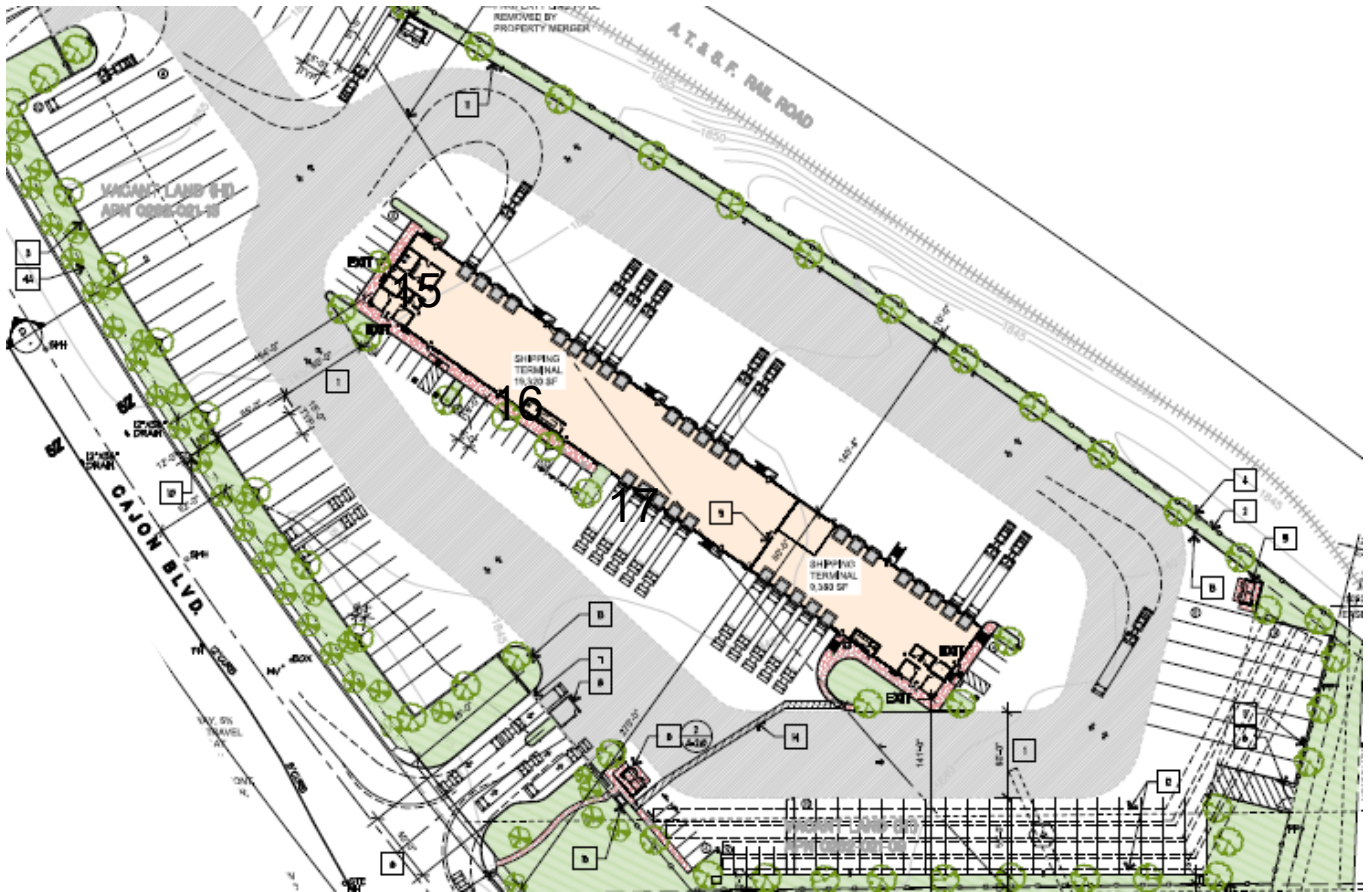


Figure 7
Proposed Elevations



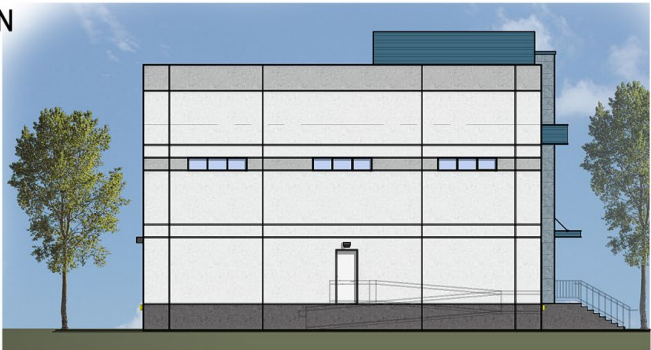
1. NORTH (REAR) FACING ELEVATION
1" = 20'-0"



2. EAST FACING ELEVATION
1" = 20'-0"



3. SOUTH (STREET) FACING ELEVATION
1" = 20'-0"



4. WEST FACING ELEVATION
1" = 20'-0"

Figure 8
Phase I and Phase II



PHASE ONE - 9,360 SF

Phase II



PHASE TWO - 19,320 SF

Figure 9
Existing Site Conditions (Images from Cajon Blvd.)



PROJECT DESCRIPTION:

The applicant has submitted a Conditional Use Permit application for a phased development to construct a truck terminal with a 28,680 square foot cargo terminal. Phased I includes a 9,360 sq. ft. cargo terminal with a truck vehicle repair shop, and Phase II includes a 19,320 sq. ft. cargo terminal (Project). Both phases will be constructed on the 9.2-acres site located at 19472 Cajon Boulevard, within the Glen Helen Specific Plan, Zoned Heavy Industrial (GHSP/HI) (Project site). The Project site is in the City of San Bernardino Sphere of Influence, 5th Supervisorial District. The Project site will merge APNs 0262-021-09 and 0262-021-13 to create one 9.2-acre parcel. The site is currently vacant with natural vegetation. The applicant has presented a detailed project description in a letter of intent (Exhibit A).

According to the Historical-Archaeological Resources Survey Report, the Project site has remained vacant and undeveloped throughout the historic period. The only man-made disturbances to the site were access roads to the Atchison, Topeka and Santa Fe Railway. The Project site has a mixture of grasses and low-lying Coastal Sage Scrubs.

The surrounding area is increasingly becoming commercial and urbanized; developed with industrial uses to the north, east and west. The Project site is adjacent to a developed truck terminal to the north and east, a proposed truck terminal to the west (however on a currently vacant parcel), and an industrial warehouse development to the south. The scope of the proposed development will consist of site clearing, site preparation, appurtenant improvements, and construction of the proposed buildings, with on-site parking and loading areas, circulation, landscaping and water quality management improvements. Off-site street and drainage improvements will also be constructed. The Project will have 32 truck loading docks located on the northern and southern portions of the proposed building as well as a truck vehicle repair shop located at the rear of the proposed building.

PROJECT ANALYSIS:

Site Planning: The subject property is located in the Glen Helen Specific Plan/Heavy Industrial (GH/HI) Land Use Zoning District. The intent of the Heavy Industrial zone is to provide for certain industrial uses that include primary outdoor storage. The Heavy Industrial zone is generally located in areas that are served by the railroad that are not visible from Scenic Corridors. Within the Heavy Industrial Zoning District, a Truck Terminal is considered a permitted use, subject to the approval of a Conditional Use Permit application.

The Proposed Project building is designed as concrete tilt-up construction. Truck access will be provided along Cajon Boulevard on the northwest and southwest entrances to the site. On-site truck movements would occur throughout the Project site. Parking spaces for employee and visitor vehicles (e.g., passenger cars, pick-up trucks, etc.) would be located adjacent to the building on the southern and northern areas of the proposed building. For a proposed Project Site Plan, see Exhibit B. The Project Site Plan provides adequate area to accommodate all parking, loading areas, and access and circulation requirements needed to comply with County requirements (See Table 2 below).

Code Compliance Summary: As noted above, the Project satisfies all applicable standards of the Glen Helen Specific Plan and the Development Code for development within the Heavy Industrial (HI) Zone, as illustrated in Table 2:

Table 2: PROJECT CODE COMPLIANCE

| Project Component | Glen Helen Specific Plan | | Project Plans |
|-------------------------------------|--------------------------|-------------------|---|
| Phased Development - Truck Terminal | CUP | | CUP |
| Parking | 35 spaces | | 35 total spaces which includes 2 ADA accessible space. Project Specific Parking: 92 spaces @ 15'x55' |
| Landscaping | Minimum Landscaping | 15% | 17.1% (68,270 sq. ft.) |
| Building Setbacks | Front Side Rear | 25' 10' 10' | 154'0" 141'0" 140'8" |
| Building Height | 75 feet maximum | | 41 feet |
| Maximum Lot Coverage | 85% | | 82.9% |
| Drive Aisles | 26' | | 60' |

Landscaping: A landscaping plan will be provided and will be required to comply with the Landscaping Standards provided in the San Bernardino Development Code Section 83.10.060, and Table 83-12 "Minimum Landscaped Area" as well as the requirements of Glen Helen Specific Plan Sections GH3.0220, GH3.0305, GH3.0310, GH3.0315, GH3.0320, GH3.0330, GH3.0335 and GH3.0340. Subsection GH.3.0330(3) requires parking areas to have one tree per every four parking stalls, however, the required location of trees may conflict with truck trailer parking and therefore, the required trees will be included as part of the overall landscaped areas. The conceptual landscape plan provides 17.1% landscape site coverage in drought-tolerant landscaping, with a variety of trees, groundcover and shrubs. Additionally, the site meets the Cajon Boulevard landscape treatment with informal clusters of trees and major street trees, providing landscape continuity and screening from the street. Landscaping will be reviewed and approved as a separate landscape permit.

Fencing: The Project will include a six foot masonry wall with wrought iron along the western property line, fronting Cajon Boulevard. An eight foot wrought iron fence is proposed along the eastern and southern side of the Project site. Walls/fences existing and proposed on all property lines shall be consistent with the San Bernardino County Development Code Section 83.02.060 – Screening and Buffering requirements.

Hours of Operation: The Project will operate 7 days per week and 24 hours per day with an estimated maximum of 10 employees per shift with 3 shifts per day.

California Environmental Quality Act Compliance

An Initial Study (IS) has been completed in compliance with the California Environmental Quality Act (CEQA) (Exhibit F). The IS concludes that the Project will have a less than significant adverse impact on the environment with the implementation of recommended mitigation measures contained in the IS, which have been incorporated in the Conditions of Approval (Exhibit D) and adopted as part of the Project's Mitigation Monitoring & Reporting Program (MMRP). A Notice of Availability/Notice of Intent (NOA/NOI) to adopt a Mitigated Negative Declaration (MND) was advertised and distributed to initiate a 30-day public comment period, which concluded on January 8, 2024. One comment letter to the NOA/NOI (Exhibit H) was received from the San Bernardino County Flood Control District requesting the inclusion of comments. The San Bernardino County Flood Control District comments have been included within the Conditions of Approval.

Following are summaries of topics addressed in the IS/MND:

Aesthetics: The proposed Project will include a concrete, tilt-up structure, painted in shades of white, gray and blue with blue reflective glazing on the windows facing the street, which are all complementary to the existing warehouse facilities in the vicinity. The single-story building will be 41 feet tall, with office areas on either side of the building and a truck vehicle repair shop located on the eastern side of the building. The Project design includes a landscape buffer and the majority of the truck docking and loading activities will occur to the eastern side of the proposed building.

Air Quality: The proposed Project is projected to be consistent with regional planning forecasts maintained by the Southern California Association of Governments regional plans. Air quality impact significance for the proposed Project has been analyzed on a project-specific basis. As the analysis of project-related emissions provided below indicates, the proposed Project will not cause or be exposed to significant air pollution is implemented, and is, therefore, consistent with the applicable air quality plan.

Water Quality: A Preliminary Water Quality Management Plan (WQMP) has been approved by the Land Development Division of Land Use Services to comply with the requirements of the San Bernardino County National Pollutant Discharge Elimination System Area-wide Stormwater Program. The Project drainage system will collect storm water runoff into an infiltration and catch basin designed and sized to accept storm water flows for on-site percolation within the prescribed period of time to avoid the nuisance of standing water. Requirements for approval of the final WQMP have been incorporated in the conditions of approval.

Traffic: A Trip Generation Assessment was conducted to evaluate potential Project-related traffic impacts. The Project is estimated to generate 186 two-way Passenger Car Equivalent (PCE) trips on a daily basis, with 12 AM and 12 PM PCE trips during peak hours. The Project would not add enough trips to result in these hourly or daily traffic volumes of 100 peak hour trips, and therefore no additional traffic analysis was conducted. The Project will also be required to pay Development Impact Fees which collectively reduce overall impacts to the transportation system.

Public Comments:

On December 20th, 2021, project notices were sent to surrounding property owners within 300 feet of the Project site, as required by Development Code Section 85.03.080. No comments or opposition was received.

On December 8th, 2023, a notice of availability of the MND was sent to surrounding property owners and responsible agencies, as part of the CEQA process. As noted, in response to the Project notices, one comment letter (Exhibit F) was received by the San Bernardino County Flood Control District informing the lead agency of the potential requirement that the applicant obtain future permits for any work that encroaches on the district's road right-of-way and for coordination of any future storm drains developed by the Project. Responses to the comments are provided and are attached as Exhibit G which resulting in the addition of two conditions of approval. The added conditions do not create new significant impacts and are not necessary to mitigate significant impacts identified in the MND. As a result, the changes do not trigger re-circulation requirements.

RECOMMENDATION: That the Planning Commission:

- 1) **ADOPT** the Mitigated Negative Declaration (Exhibit F) and Mitigation Monitoring and Reporting Program (Exhibit G);
- 2) **ADOPT** the Findings for approval of the Conditional Use Permit (Exhibit C);

- 3) **APPROVE** the Conditional Use Permit to construct a truck terminal with a 28,680 sq. ft. cargo terminal on a 9.2-acre lot in two phases: 1) Phase I - 9,360 sq. ft. cargo terminal with a truck vehicle repair shop, 2) Phase II - 19,320 sq. ft. cargo terminal, subject to the Conditions of Approval (Exhibit D); and
- 4) **DIRECT** the Land Use Services Department to file the Notice of Determination in accordance with the California Environmental Quality Act.

ATTACHMENTS:

- EXHIBIT A: Letter of Intent
EXHIBIT B: Site Plan
EXHIBIT C: Findings
EXHIBIT D: Conditions of Approval
EXHIBIT E: Initial Study/Mitigated Negative Declaration
[https://www.sbcounty.gov/uploads/LUS/Valley/Route_66_Truck_Parking_and_Cargo_Terminal/Final%20Signed%20Initial%20Study%20\(12.2.23\).pdf](https://www.sbcounty.gov/uploads/LUS/Valley/Route_66_Truck_Parking_and_Cargo_Terminal/Final%20Signed%20Initial%20Study%20(12.2.23).pdf)
EXHIBIT F: Mitigation Monitoring & Reporting Program (MMRP)
EXHIBIT G: Comments- Comment Letters the San Bernardino County Flood Control District
EXHIBIT H: Responses to Comments

EXHIBIT A

Letter of Intent

Cajon Blvd Industrial Park LLC

1212 S. Mountain View Avenue
San Bernardino, CA 94208

SEPTEMBER 22, 2023

LETTER OF INTENT – CHANGE OF NUMBER OF LOADING DOCKS

PROJECT NUMBER: PROJ-2021-00066
APN: 0262-021-09 and 13
OWNER: Parviz Razavian
Cajon Blvd Industrial Park LLC
1212 S Mountain View Ave. San Bernardino, CA 92408

PROJECT DESCRIPTION (05/25/2021):

Conditional Use Permit for Route 66 Truck Parking and Cargo Terminal, to establish a truck parking and cargo terminal, and construct a 28,680 sf shipping terminal facility in two phases.

PROPOSED CHANGE:

In the effort to avoid the negative impact on the San Bernardino County environment we have reduced the number of the loading docks from the original 45 doors to the proposed 32 doors in order to achieve the 110 trip per day reduction per CEQA report advisement.

Proposed change does not alter the size of the building or site configuration submitted on 10/21/2022.

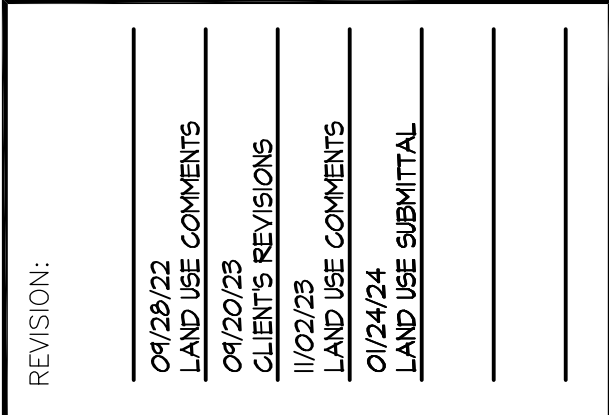
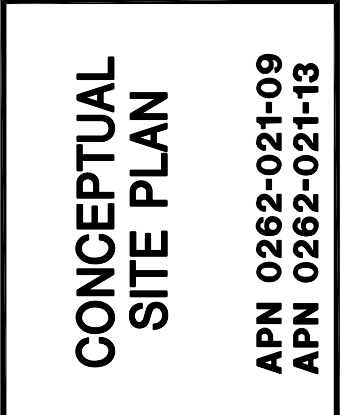
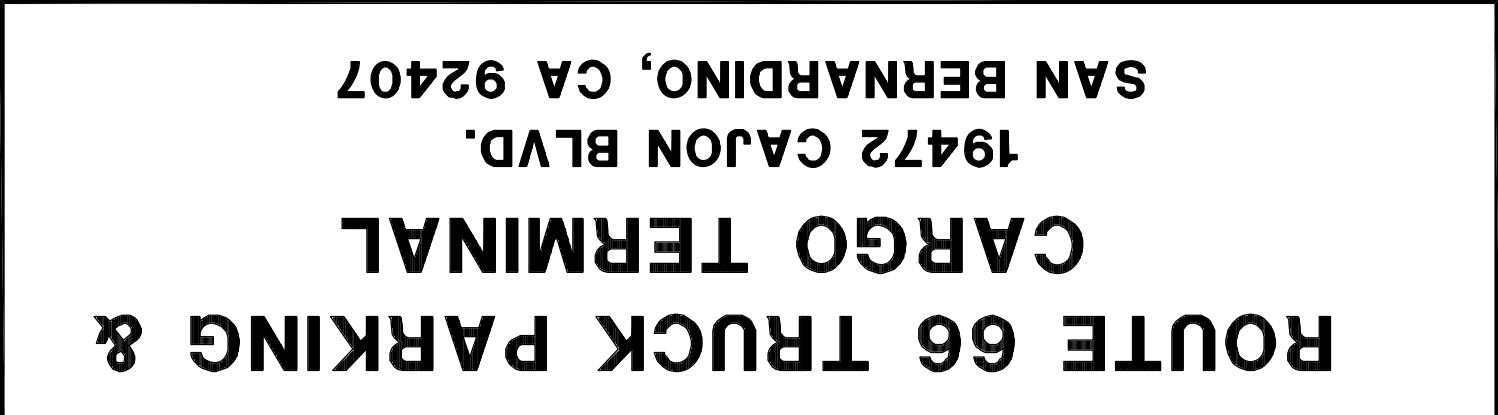
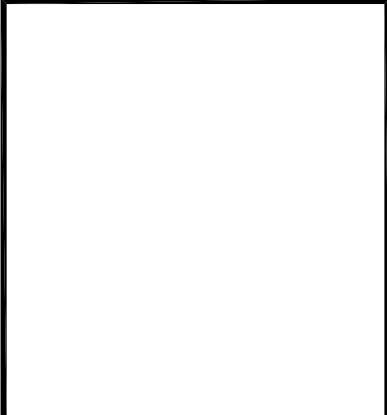
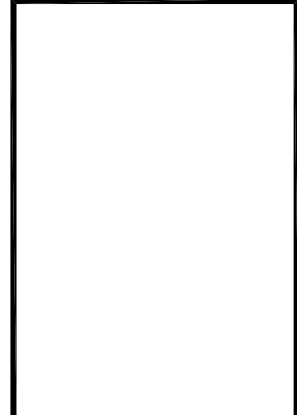
Proposed change does not alter the number of trailer parking spaces submitted on 10/21/2022.

Proposed change does not alter the project description. The dominant function of the project remains same to provide safe off-road parking for the trucking industry. The building's operation with less loading docks will still serve the same purpose; offering small shipping terminal and motor repair shop (Phase 1) and electrical car charging stations, drivers' break room with showers and shipping terminal expansion (Phase 2).

Proposed change does not alter approved WQMP-2021-00120, dated 09/27/2022 and does not alter approved Drainage Study DRNSTY-2021-00045, dated 09/27/2022.

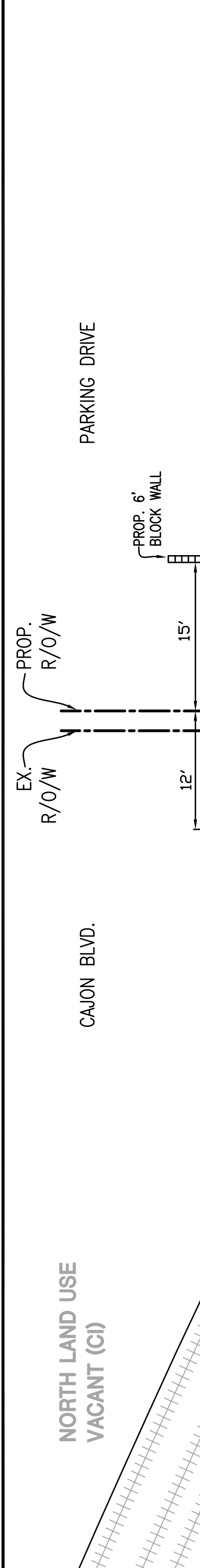
EXHIBIT B

Site Plan



ROUTE 66 TRUCK PARKING & CARGO TERMINAL

19472 CAJON BLVD., SAN BERNARDINO, CA 92407



LEGAL DESCRIPTION:
A PORTION OF BLOCK 11 OF THE MEYER AND BARCLAY SUBDIVISION, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6662, PAGE 104 OF THE PUBLIC RECORDS OF SAID COUNTY, TOWNSHIP 11N, RANGE 83N, SECTION 2, PART 3

| APN | LOT SIZE | 9.51 AC (414,256 SF) | 9.2 AC (399,982 SF) AFTER ROAD DEDICATION |
|------------------------------------|----------|---|---|
| CURRENT LAND USE | | VACANT OPEN LAND | VACANT OPEN LAND |
| SPECIFIC PLAN | | GLENN HELEN VALLEY REGION | GLENN HELEN VALLEY REGION |
| ZONING | | HEAVY INDUSTRIAL (HI) | HEAVY INDUSTRIAL (HI) |
| PROPOSED USE / PROJECT DESCRIPTION | | TRUCK TRAILER PARKING AND CARGO TERMINAL (TRANSFER POINT) FOR STORAGE, STAGING AND REDISTRIBUTION LOADS AND GOODS | |

| DEVELOPMENT STANDARDS | REQUIRED | PROVIDED |
|-------------------------|-------------|--------------|
| BLDG SETBACK: FRONT | 25 FEET | 154', VARIES |
| SIDE YARD | 10 FEET | 141', VARIES |
| REAR YARD | 10 FEET | 151', VARIES |
| LANDSCAPE COVERAGE | 15% MIN | 17.1% |
| LANDSCAPE SETBACK FRONT | 10 FEET | 15 FEET |
| BUILDING HEIGHT | 75 FEET MAX | 45 FEET |
| HARDSCAPE LOT COVERAGE | 85% MAX | 82.9% |
| FLOOR AREA RATIO | 0.5 | 0.07 |

| LOT COVERAGE | SF | % |
|-----------------|---------|-------|
| BUILDING | 28,680 | 7.2 |
| CONC WALKS | 4,600 | 1.2 |
| TRASH ENCLOSURE | 680 | 0.2 |
| PARKING AREAS | 178,252 | 44.6 |
| AC CIRCULATION | 119,500 | 29.9 |
| LANDSCAPE | 331,712 | 82.9 |
| TOTAL | 68,270 | 17.1 |
| | 399,982 | 100.0 |

PARKING AND LANDSCAPE:
WAREHOUSE: 1 TSP FOR EA 1,000 SF OF THE FIRST 40,000 SF OF GFA
TRUCK TRAILER PARKING: 1 TSP FOR EA 1,000 SF OF GFA
9 X 19 STANDARD PARKING SPACE
24 FEET DRIVEWAY WIDTH
40 FEET TRUCK AISLES REQUIRED, 60 FEET AISLE PROVIDED
ONE TREE FOR EVERY 4 PARKING STALLS
PARKING STALLS PROVIDED:
35 STALLS TOTAL
32 REGULAR STALLS
1 VAN ADA STALLS
2 ADA STALLS
TRAILER PARKING SPACES
LOADING DOCKS
EVCS PROVIDED INCLUDING ONE VAN ADA (20-50 PARKING SF)

SHEET INDEX

UTILITY CONTACTS

SCE
2885 WEST FOOTHILL BLVD.
RIALTO, CA 92376-5359
(909) 820-5223
TELEPHONE / CABLE TV
AT&T
3339 E CORONADO STREET
ANAHEIM, CA 92807
TIME WARNER CABLE
1500 AUTO CENTER DR.
ONTARIO, CA 91761

CONTACTS

OWNER
PARVIZ RAZAVIAN
1212 S. MOUNTAIN VIEW AVE.
SAN BERNARDINO, CA 92408
PHONE: (909) 884-5020
ARCHITECT
MM ARCHITECT SERVICES INC.
33195 FOX ROAD
TEMECULA, CA 92592
PHONE: (949) 351-5977
CONTACT: MARTINA MASARANI, R.A.

CONDITIONAL USE PERMIT
NO. PROJ 2021 00066

PROJECT DATA

1

SCALE:
1"=50'-0"

CONCEPTUAL SITE PLAN

VICINITY MAP

SCALE:
NONE

2

| B. S-1 | ALLOWABLE / ACTUAL HEIGHT: 60 FT / 44 FT | ALLOWABLE / ACTUAL STORY: 2 / 1 STORY | ALLOWABLE / ACTUAL AREA: 36,000 SF / 28,680 SF |
|--------------------------------|--|---------------------------------------|--|
| V-8 | | | |
| YES - NFPA 13 COMPLIANT | | | |
| EGRESS | 2 EXITS | EGRESS | EXITS |
| AREA | 2,250 | 100 | 49 |
| OFFICE AREAS | 25,160 | 500 | 49 |
| WAREHOUSE / LOADING | 800 | 500 | 49 |
| MOTOR REPAIR | 470 | 500 | 49 |
| UTILITY / ELECTRICAL RM | 28,680 | | |
| BUILDING SF AND OCCUPANCY LOAD | | | |

GH3.0215 SITE ENTRANCE AND BUILDING ENTRANCE
SPECIAL LANDSCAPING TREATMENT AT THE SITE ENTRY IS ONLY RECOMMENDED FOR SITES AT OR OVER FIVE ACRES IN SIZE ACCENT PLANT MATERIALS AT ENTRY DRIVES TO AVOID INTERRUPTION OF CONTINUITY OF LANDSCAPE ALONG THE ROADWAYS.
NECESSARY ABOVE GROUND UTILITIES AND EQUIPMENT SHALL BE LOCATED BEHIND A SHRUB SCREEN AND COMBINATION OF SCREEN WALL AND LANDSCAPING MATERIALS.
GH3.0230 INTERIOR PARKING SHADING
PARKING AREA TREES ARE REQUIRED AT A RATIO OF ONE TREE PER EVERY FOUR STALLS

EAST LAND USE
TRAIN TRACKS (CI)

A.T. & S.F. RAIL ROAD

SHIPPING
TERMINAL
19,320 SF

VACANT LAND (HI)
APN 0282-021-13

SITE KEYNOTES

- INDUSTRIAL VEHICULAR ACCESS ROAD, 40' MIN.
- WROUGHT IRON FENCE, 6' HIGH AT FRONT YARD, 8' HIGH AT INTERIOR AND REAR YARDS
- 6' HIGH MASONRY AND WROUGHT IRON COMBO SCREEN WALL, FRONT YARD
- PROPERTY LINE
- 4A. PROPERTY LINE AFTER 2' ROAD DEDICATION
- TRASH ENCLOSURE SHALL BE EFFECTIVELY SCREENED FROM PUBLIC VIEW BY LANDSCAPING AND FENCING
- COMMERCIAL DRIVEWAY WITH CURB RETURNS, COUNTY STANDARD 129B, SEE GH3.0315 FOR LANDSCAPING TREATMENT
- SECURITY GATE
- CHECK POINT
- CONSTRUCTION SEPARATION CONTROL JOINT
- 12-FOOT ROW: 5' SIDEWALK AND 7' LANDSCAPE
- 6' CONC. CURB, TYP.
- INFILTRATION TRENCH AND CATCH BASIN, SEE CIVIL AND SBDC B3.07
- PARKING LIGHT POLE, 25 FEET MAX HEIGHT, (GHSP 3.0605 AND SBDC B3.07)
- PATH OF TRAVEL FROM PUBLIC SIDEWALK TO MAIN BUILDING
- ELECTRICAL TRANSFORMER, SEE GH3.0340 FOR LANDSCAPING SCREENING REQUIREMENTS

SITE PLAN NOTES

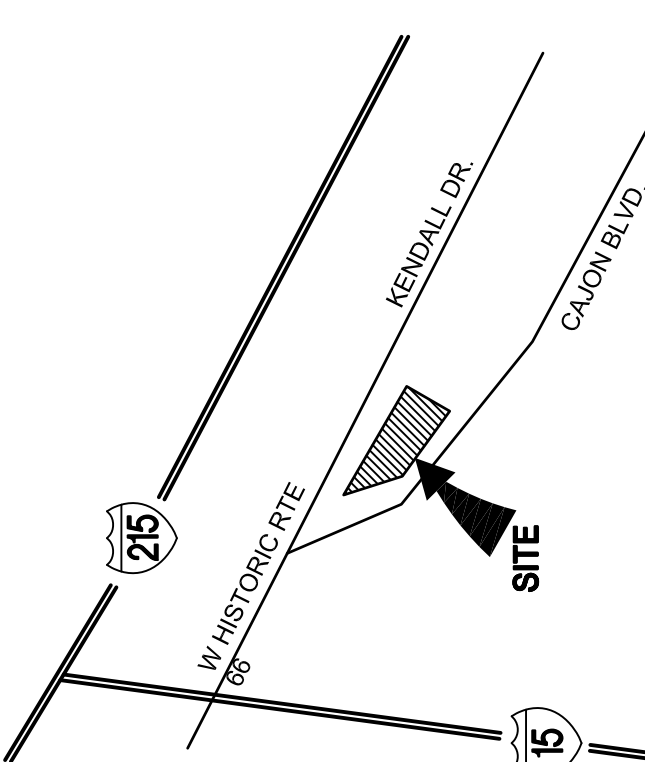
- NO BUILDING OR MONUMENT SIGNS ARE PROPOSED UNDER THIS SUBMITTAL.
- MIN. 6" CONCRETE PAVEMENT WITH WELDED WIRE MESH OVER 6"-8" CRUSHED STONE THROUGH OUT SITE TO WITHHOLD TRAILER LOAD.
- NO PROTECTED PLANTS ON SITE
- REFER TO WQMP PLAN FOR SOURCE CONTROL BMP

LEGENDS

- NON-SLIP CONCRETE WALKWAY, 5% MAX. SLOPE IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE EXCEPT AT RAMPS
- ON-SITE LANDSCAPE PER GHSP: BERN W TREES 40' O.C. LIQUIDAMBER, PINUS CANARIENSIS OR SIM.
- 7-FOOT L.S. PARKWAY, TREES 25' O.C., PINUS CAROLINIANA OR SIM.
- INTERIOR PARKING LOT SHADING TREE GALLON LANDSCAPING SHADING PLAN SHALL BE SUBMITTED PRIOR BUILDING PERMIT ISSUANCE

EASEMENTS

- 6 FEET EASEMENT FOR ELECTRICAL LINES TO SOUTHERN CALIFORNIA Edison RECORDED ON JULY 10, 1986 PER BOOK 6662, PAGE 104 OF THE PUBLIC RECORDS OF SAID COUNTY, TOWNSHIP 11N, RANGE 83N, SECTION 2, PART 3
- 6 FEET EASEMENT FOR GAS LINES TO SOUTHERN CALIFORNIA GAS CO RECORDED ON JUNE 6, 1994 PER BOOK 7245, PAGE 471 OF THE PUBLIC RECORDS OF SAID COUNTY, TOWNSHIP 11N, RANGE 83N, SECTION 2, PART 3
- 10 FEET EASEMENT FOR GAS LINES TO SOUTHERN CALIFORNIA GAS CO RECORDED ON JUNE 6, 1994 PER BOOK 7245, PAGE 471 OF THE PUBLIC RECORDS OF SAID COUNTY, TOWNSHIP 11N, RANGE 83N, SECTION 2, PART 3
- EASEMENT OF 10 FEET TO CALIFORNIA ELECTRIC POWER CO, RECORDED ON MAY 12, 1958 PER BOOK 4256, PAGE 19 OF THE PUBLIC RECORDS OF SAID COUNTY, TOWNSHIP 11N, RANGE 83N, SECTION 2, PART 3

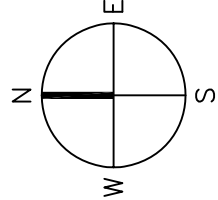


OFFICIAL USE ONLY

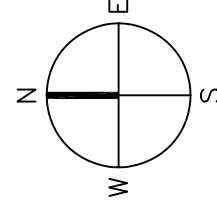
PHASE TWO - 19,320 SF

2

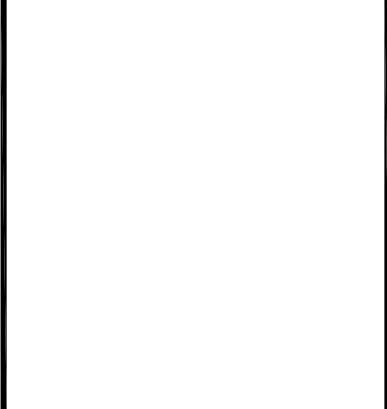
SCALE: 1"=60'-0"



| | |
|-------------------------------|--------------------------------|
| PROJECT DESCRIPTION PHASE ONE | |
| 9,360 SF | BUILDING |
| 13 | LOADING DOCKS |
| 163 SP | TRAILER PARKING SPACES |
| 12 + 1 ADA | REGULAR / ADA SPACE |
| 2 SP | EVCS |
| PROJECT DESCRIPTION PHASE TWO | |
| 19,320 SF | BUILDING |
| 19 | LOADING DOCKS |
| (71 SP) | REMOVED TRAILER PARKING SPACES |
| 20 SP + 2 ADA | REGULAR / ADA SPACES |
| 4 SP | EVCS |
| TOTAL AFTER BOTH PHASES | |
| 28,680 SF | TERMINAL BUILDING |
| 32 | LOADING DOCKS |
| 92 SP | TRAILER PARKING SPACE |
| 22 SP + 3 ADA | REGULAR / ADA PARKING SPACES |
| 8 SP | EVCS |



MM ARCHITECT SERVICES, INC.
planning • design • architecture
33195 Fox Road
Temecula, CA 92592
Tel: 949-351-5977



ROUTE 66 TRUCK PARKING &
CARGO TERMINAL
19472 CAJON BLVD.
SAN BERNARDINO, CA 92407

PHASING
PLAN I AND II
APN 0282-021-09
APN 0282-021-13

| |
|--------------------------------|
| REVISION: |
| |
| |
| |
| |
| 01/24/24 LAND USE SUBMITTAL |
| |
| |

DATE JULY 26, 2021

JOB NO. 21100
SHEET:

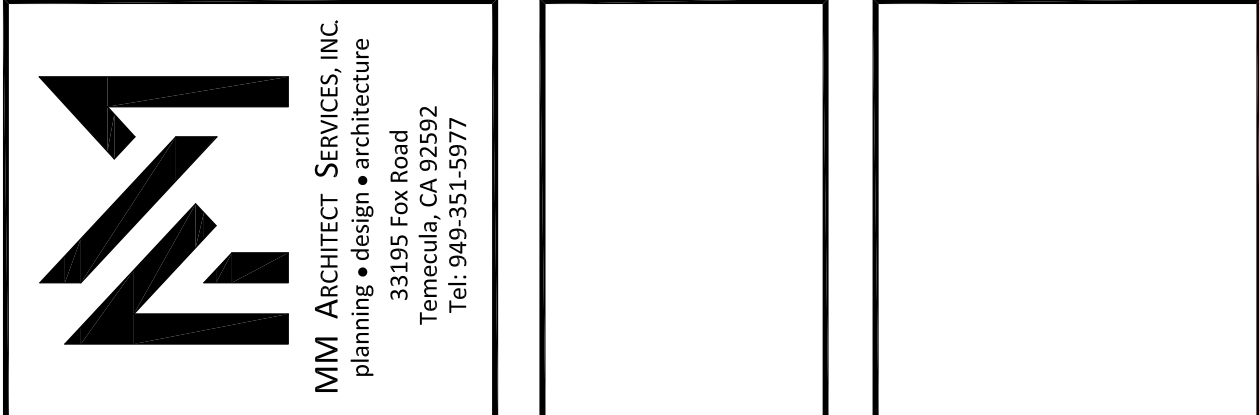
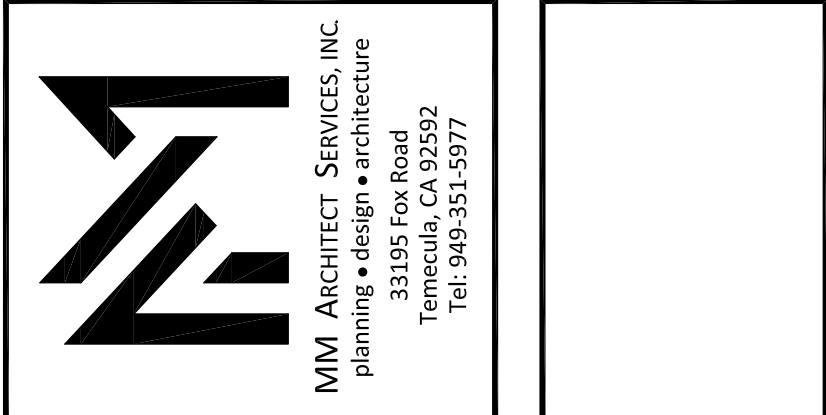
A-1.1
OF SHEETS

CONDITIONAL USE PERMIT
NO. PROJ 2021 00066

PHASE ONE - 9,360 SF

SCALE: 1"=60'-0"

1



ROUTE 66 TRUCK PARKING & CARGO TERMINAL
19472 CAJON BLVD.
SAN BERNARDINO, CA 92407

FLOOR PLAN

APN 0282-021-09
APN 0282-021-13

| |
|--------------------------------|
| REVISION: |
| |
| 04/20/23 CLIENT'S REVISIONS |
| 01/24/24 LAND USE SUBMITTAL |
| |
| |

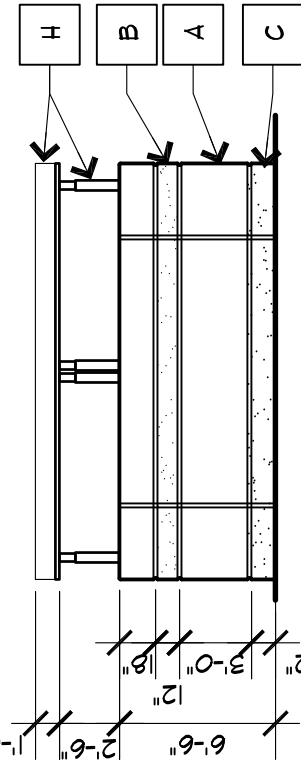
DATE JULY 26, 2021

JOB NO. 21100
SHEET:

A-2.0

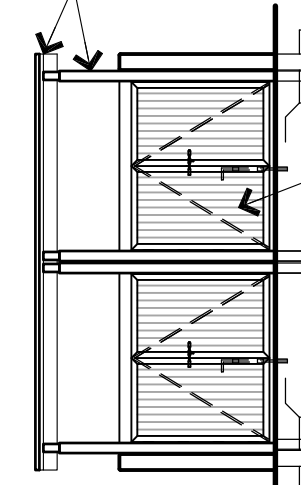
. OF . SHEETS

ELEVATION A
REFER TO SHEET A-3J
FOR ELEVATION FINISHES



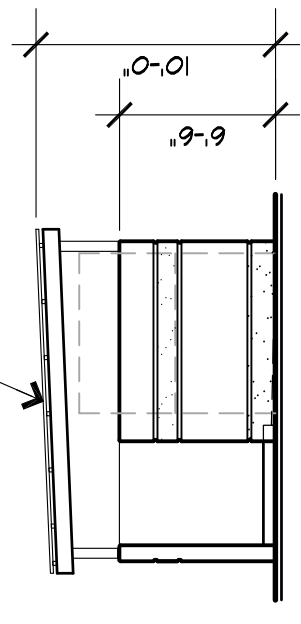
12'-0"
6'-6"
2'-6"
12'-0"
3'-0"
12'-0"
12'-0"
6'-6"
2'-6"
12'-0"

ELEVATION B



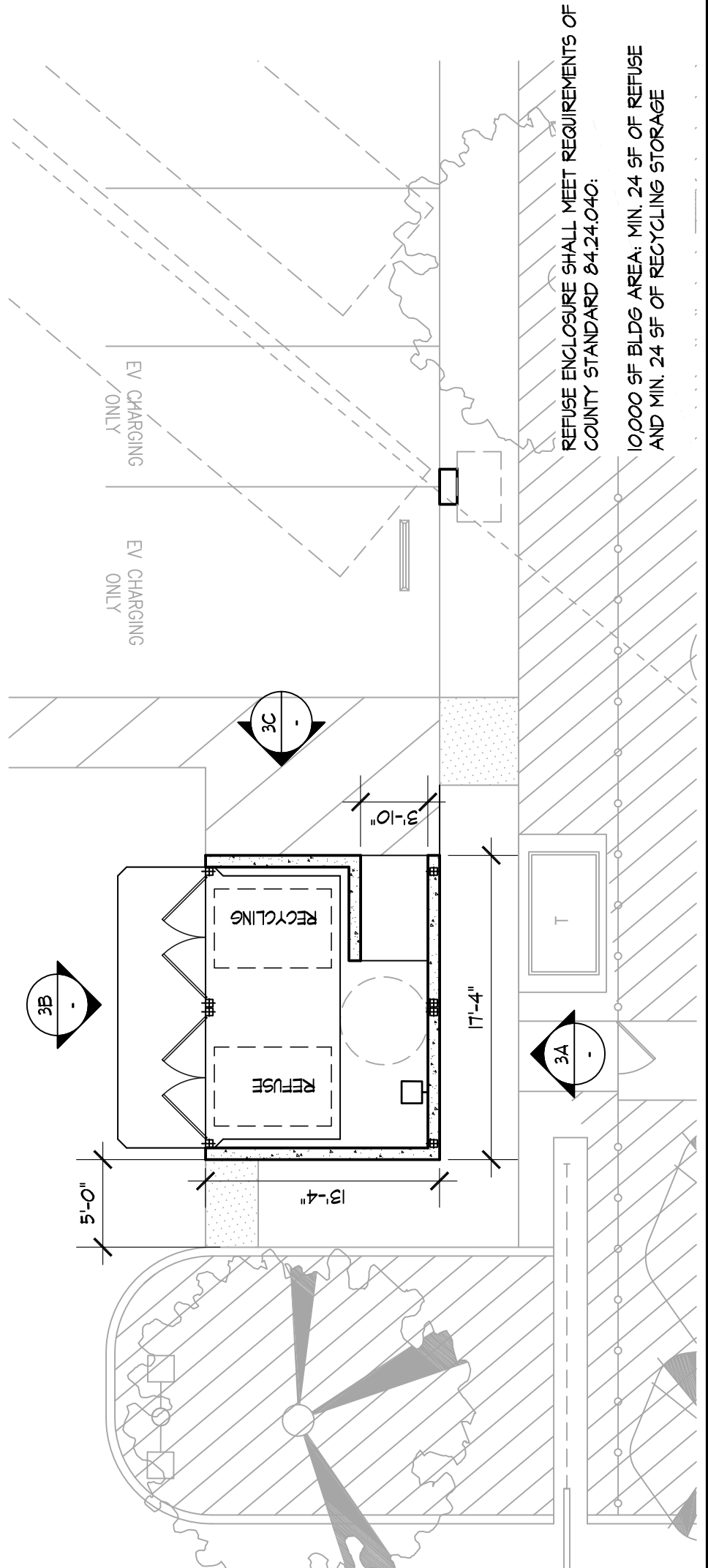
18 GAUGE X 1/2" 6:1 DECKING
WELDED ONTO 3" X 3" X 1/4" STEEL
ANCHOR BOLT BRACKET JOINTS
EXTERIOR WALL EXPOSED JOINTS
TRIM PAINTED COLOR-H TO MATCH
SIDES

ELEVATION C



GALV. CORRUGATED METAL
ROOF, SLOPE 3/12 MIN.

REFUSE ENCLOSURE SHALL MEET REQUIREMENTS OF
COUNTY STANDARD 84-24-040:
10,000 SF BLDG. AREA MIN. 24 SF OF REFUSE
AND MIN. 24 SF OF RECYCLING STORAGE



REFUSE
RECYCLING
TWO SINGLING / 43
TWO SINGLING / 43
17'-4"
15'-4"
5'-0"
3'-0"
17'-4"

TRASH ENCLOSURE PLAN

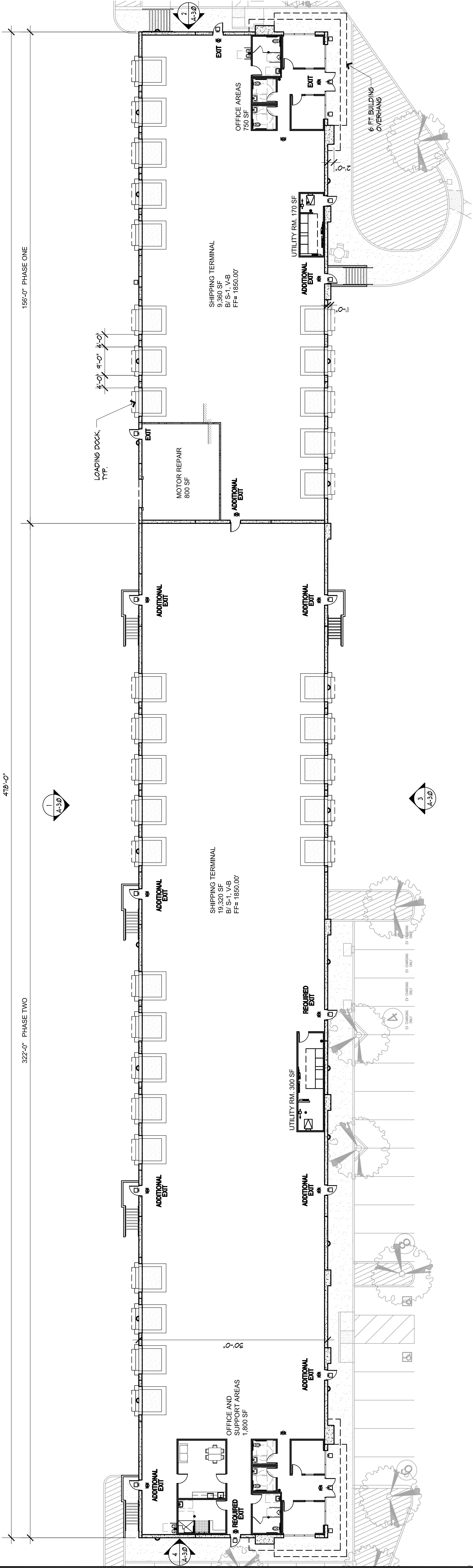
SCALE: 1/8"=1'-0"

2

TRASH ENCLOSURE ELEVATIONS

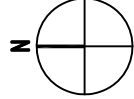
SCALE: 1/8"=1'-0"

3



LEGEND

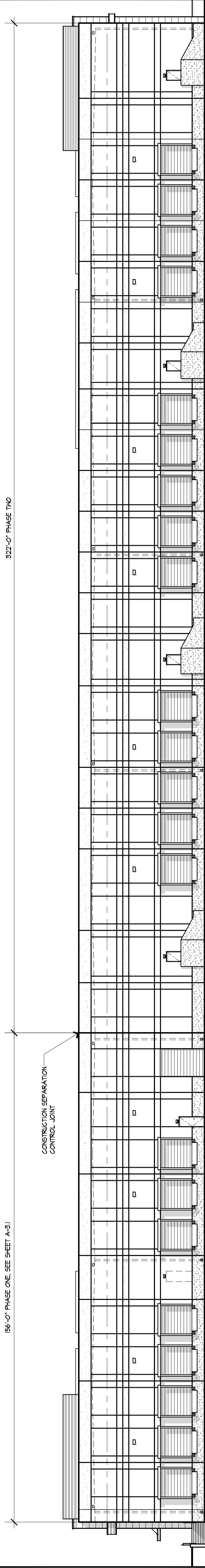
- CONCRETE TILT UP WALL
- INTERIOR PARTITION WALL
- EXTERIOR DOOR LIGHT FIXTURE
- EXTERIOR WALL MOUNTED FLOOR LIGHT, SHIELDED AND FOCUSED TO MINIMIZE SPILL LIGHT INTO NIGHT SKY (GHP 3.0609 AND SDDC 85.07)



CONDITIONAL USE PERMIT
NO. PROJ 2021 00066

156'-0" PHASE ONE, SEE SHEET A-3.1

CONSTRUCTION SEPARATION
CONTROL JOINT



522'-0" PHASE TWO

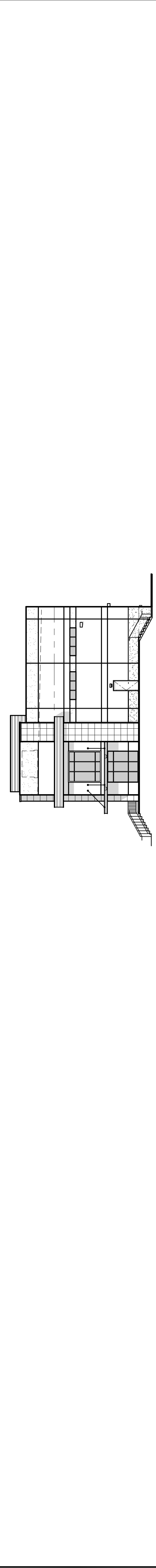
OVERALL NORTH (RAILROAD) FACING ELEVATION

1

SCALE:
1/16"=1'-0"

156'-0" PHASE ONE, SEE SHEET A-3.1

CONSTRUCTION SEPARATION
CONTROL JOINT



522'-0" PHASE TWO

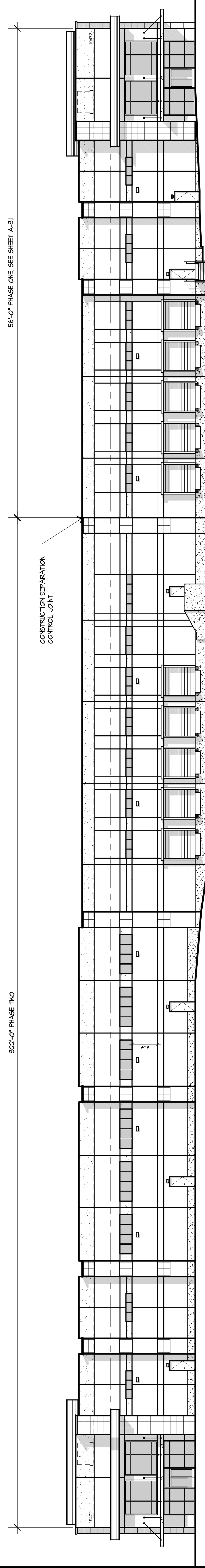
EAST FACING ELEVATION

2

SCALE:
1/16"=1'-0"

156'-0" PHASE ONE, SEE SHEET A-3.1

CONSTRUCTION SEPARATION
CONTROL JOINT



522'-0" PHASE TWO

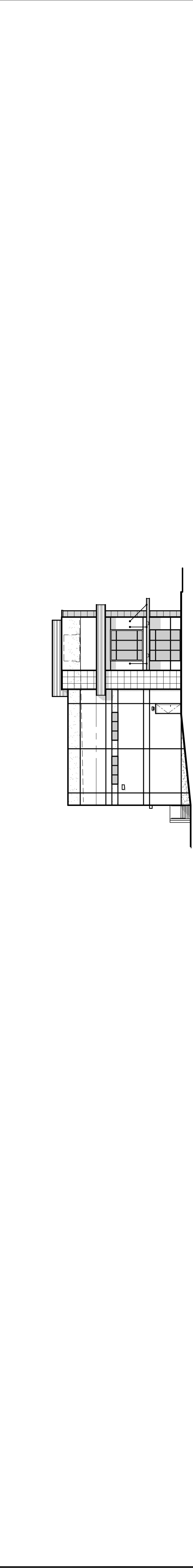
OVERALL SOUTH (CAJON BLVD) FACING ELEVATION

3

SCALE:
1/16"=1'-0"

156'-0" PHASE ONE, SEE SHEET A-3.1

CONSTRUCTION SEPARATION
CONTROL JOINT



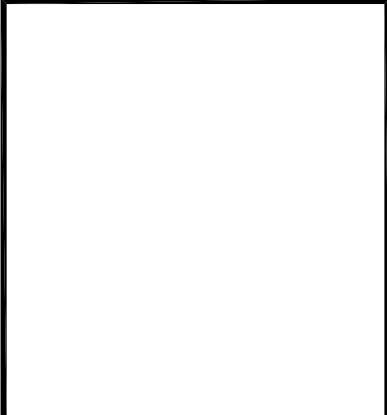
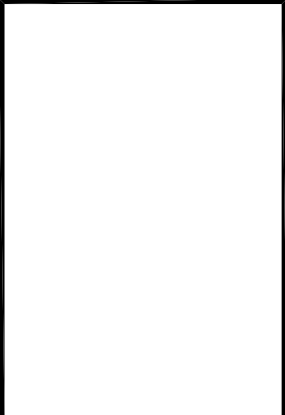
522'-0" PHASE TWO

WEST FACING ELEVATION

4

SCALE:
1/16"=1'-0"

MM ARCHITECT SERVICES, INC.
planning • design • architecture
33195 Fox Road
Temecula, CA 92592
Tel: 949-351-5977



ROUTE 66 TRUCK PARKING &
CARGO TERMINAL
19472 CAJON BLVD.
SAN BERNARDINO, CA 92407

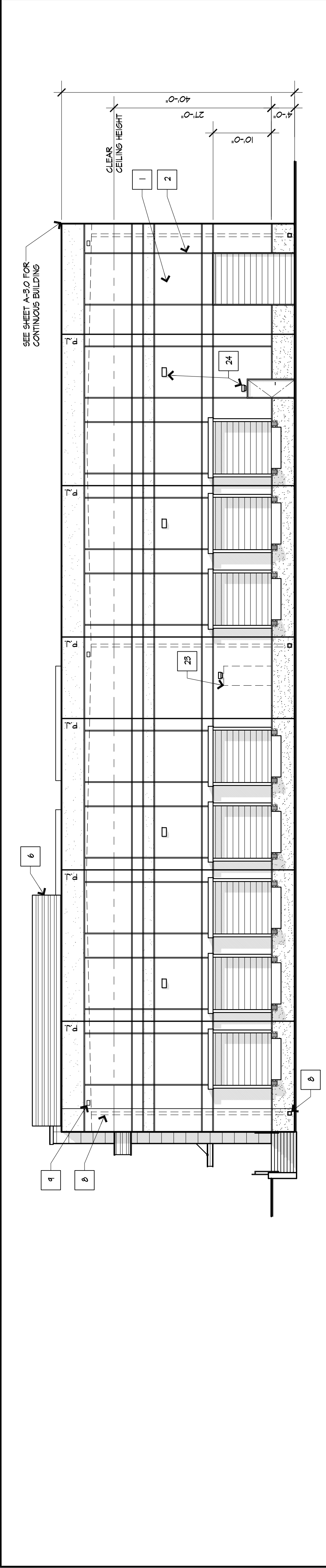
EXTERIOR
ELEVATIONS
APN 0282-021-09
APN 0282-021-13

| |
|--------------------------------|
| REVISION: |
| |
| |
| |
| 01/24/24 LAND USE SUBMITTAL |
| |
| |

DATE JULY 16, 2021

JOB NO. 21100
SHEET:

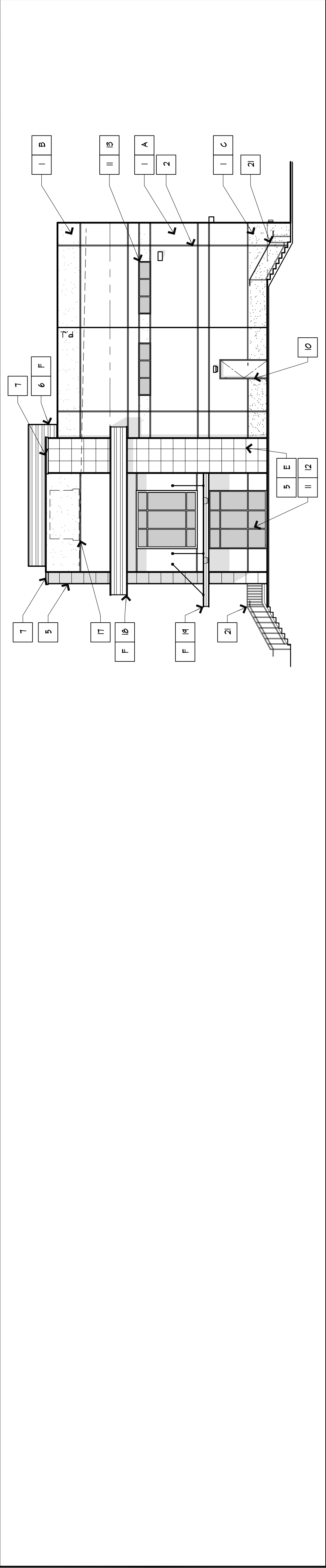
A-3.1
OF 4 SHEETS



NORTH (RAILROAD) FACING ELEVATION

SCALE: 3/32"=1'-0"

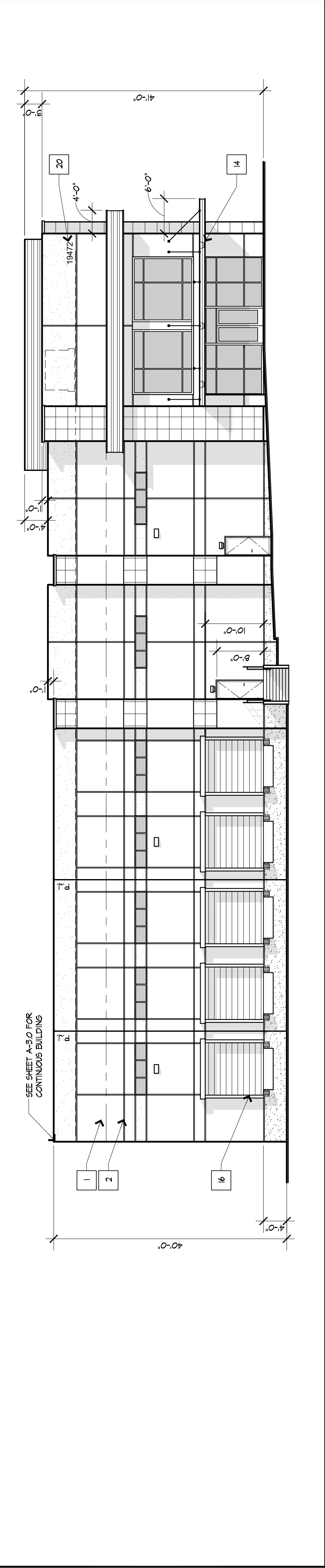
1



EAST FACING ELEVATION

SCALE: 3/32"=1'-0"

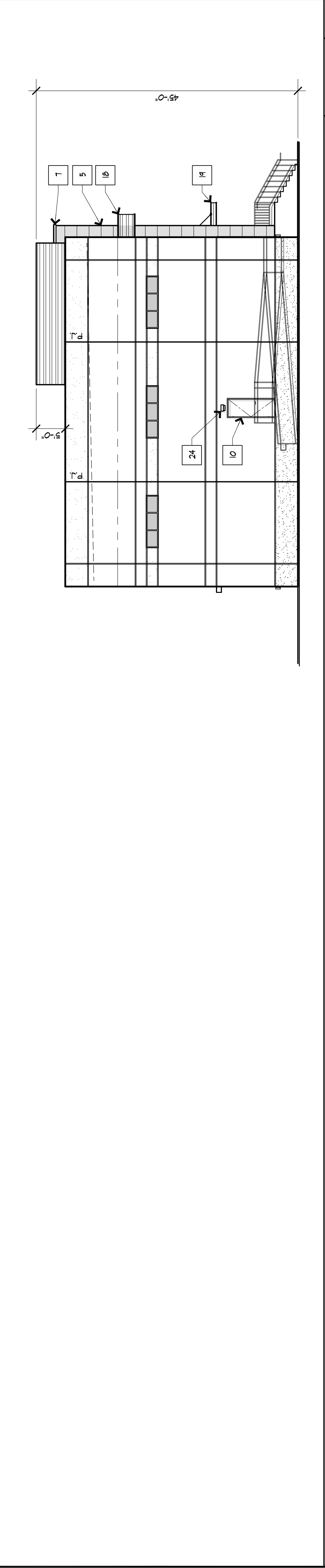
2



SOUTH (CAJON BLVD) FACING ELEVATION

SCALE: 3/32"=1'-0"

3



WEST FACING ELEVATION

SCALE: 3/32"=1'-0"

4

1. CONCRETE PANEL
2. 2" REVEAL JOINT
3. CONTROL JOINT
4. NOT USED
5. STONE VENEER
6. ROOF SCREEN WALL
7. PREFINISHED METAL COPING
8. INTERNAL PRIMARY DOWNSPOUT OUTLET WITH SPLASH BLOCK
9. ROOF OVERFLOW OUTLET
10. EXTERIOR STEEL DOOR AND FRAME
11. 1" INSULATING GLASS
12. ALUMINUM STOREFRONT
13. ALUMINUM WINDOW FRAME
14. AWNING LIGHT FIXTURES
15. NOT USED
16. LOADING DOOR AND DOCK
17. ROOF LINE AND MECHANICAL EQUIPMENT SCREENED BEHIND
18. ROOF PARAPET AND SCREEN MALL
19. METAL PRE-FINISHED AWNING
20. BUILDING ADDRESS NUMBER, LANDSCAPE SHALL NOT OBSTRUCT CLEAR VIEW OF ADDRESS NUMBERS
21. METAL STAIR RAILING
22. NOT USED
23. KNOCKOUT PANEL FOR FUTURE DOOR
24. EXTERIOR WALL MOUNTED FLOOR LIGHT, SHIELDED AND FOCUSED TO MINIMIZE SPILL LIGHT INTO NIGHT SKY (GHP 3.0605 AND SDDC 83.07)

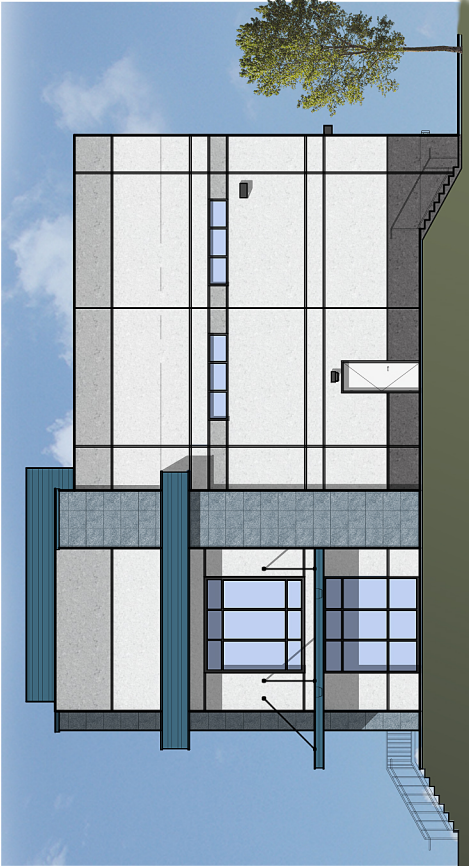
ELEVATION FINISHES

- A. CONCRETE PANEL, BODY COLOR, DE685 LIGHTHOUSE
- B. CONCRETE PANEL, ACCENT LIGHT COLOR, DE 686T COVERED IN PLATINUM
- C. CONCRETE PANEL, DARK COLOR DE684 IRON FIXTURE
- D. NOT USED
- E. ACCENT TILES, SILVER BLUE SLATE TILE, NATURAL CLEFT FACE AND BACK, 24X24
- F. METAL AWNING AND WALL PANEL, FAC-CLAD COLOR AWARD BLUE OR EQUAL
- G. 1" INSULATED CLEAR VISION GLASS
- H. DARK BRONZE ANODIZED - ALUMINUM STOREFRONT SYSTEM AND WINDOW FRAME, AND LIGHT FIXTURES, PAINT TO MATCH METAL COPING, TRASH ENCLOSURE STEEL GATES AND ROOF

BUILDING SIGNS AND SIGN PROGRAM SHALL BE SUBMITTED UNDER SEPARATE PERMIT.



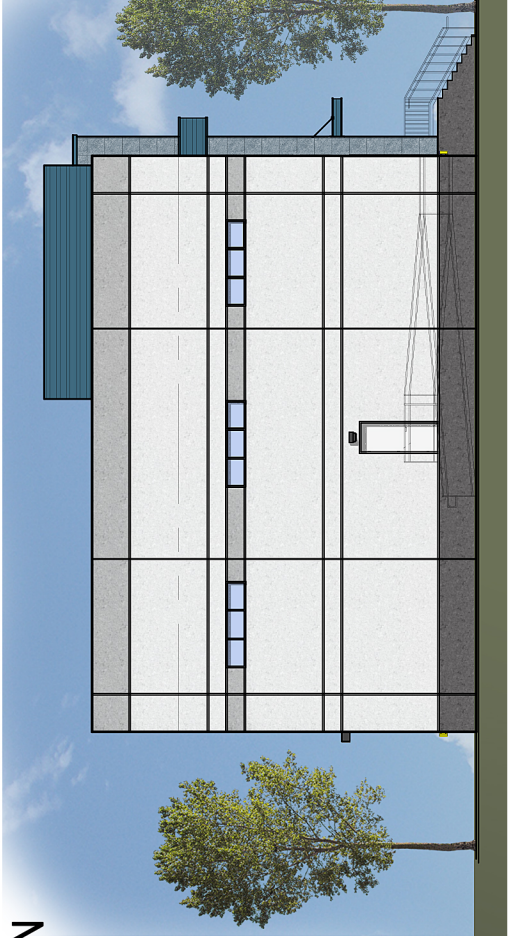
1. NORTH (REAR) FACING ELEVATION
1" = 20'-0"



2. EAST FACING ELEVATION
1" = 20'-0"



3. SOUTH (STREET) FACING ELEVATION
1" = 20'-0"



4. WEST FACING ELEVATION
1" = 20'-0"



MM ARCHITECT SERVICES, INC
planning • design • architecture

ELEVATION FINISHES

| | |
|----|---|
| A. | CONCRETE PANEL, BODY COLOR, DEW385 LIGHTHOUSE |
| B. | CONCRETE PANEL, ACCENT LIGHT COLOR, DE 6367 COVERED IN PLATINUM |
| C. | CONCRETE PANEL, DARK COLOR DE6384 IRON FIXTURE |
| E. | ACCENT TILES, SILVER BLUE SLATE TILE NATURAL CLEFT FACE AND BACK, 24X24 |
| F. | METAL AWNING AND WALL PANEL, PAC-CLAD COLOR AWARD BLUE |
| G. | 1" INSULATED CLEAR VISION GLASS |
| H. | DARK BRONZE ANODIZED - ALUMINUM STOREFRONT SYSTEM AND WINDOW FRAME, METAL COPING AND LIGHT FIXTURES |

SITE DEVELOPMENT
ROUTE 66 TRUCK PARKING & CARGO
TERMINAL

19472 CAJON BLVD., SAN BERNARDINO, CA 92407
FOR

PARVIZ RAZAVIAN
1212 S. MOUNTAIN VIEW AVE.
SAN BERNARDINO, CA 92408
PHONE: (909) 894-5020

JANUARY 24, 2024

EXHIBIT C

Findings

FINDINGS: CONDITIONAL USE PERMIT

A CONDITIONAL USE PERMIT FOR A PHASED DEVELOPMENT TO CONSTRUCT A TRUCK TERMINAL WITH A 28,680 SQUARE FOOT CARGO TERMINAL THAT INCLUDES A 9,360 SQ. FT. CARGO TERMINAL AND TRUCK VEHICLE REPAIR SHOP IN PHASE I, AND A 19,320 SQ. FT. CARGO TERMINAL IN PHASE II; ON APPROXIMATELY 9.2-ACRES; LOCATED AT 19472 CAJON BOULEVARD, WITHIN THE GLEN HELEN SPECIFIC PLAN, ZONED HEAVY INDUSTRIAL (GHSP/HI); WITHIN THE CITY OF SAN BERNARDINO SPHERE OF INFLUENCE AREA; 5TH SUPERVISORIAL DISTRICT; APNS: 0262-021-09 AND 0262-021-13; PROJECT NUMBER PROJ-2021-00066

The following are the required findings, per the San Bernardino County Development Code (Development Code) Section 85.06.040, and supporting facts for approval of the Conditional Use Permit:

- 1. THE SITE FOR THE PROPOSED USE IS ADEQUATE IN TERMS OF SHAPE AND SIZE TO ACCOMMODATE THE PROPOSED USE AND ALL LANDSCAPING, OPEN SPACE, SETBACKS, WALLS AND FENCES, YARDS, AND OTHER REQUIRED FEATURES PERTAINING TO THE APPLICATION.**

The Project Site is 9.2-acres in size and is of adequate size and shape to accommodate the proposed use with parking stalls and sufficient drive aisle widths for ingress and egress of the proposed vehicles on-site. All setbacks meet the requirements of the Glen Helen Specific Plan and/or Development Code, as applicable, for the proposed land use and the existing zoning. The submitted plans shows adequate design, parking, landscaping, circulation, access, and setbacks

- 2. THE SITE FOR THE PROPOSED USE HAS ADEQUATE ACCESS, WHICH MEANS THAT THE SITE DESIGN INCORPORATES APPROPRIATE STREET AND HIGHWAY CHARACTERISTICS TO SERVE THE PROPOSED USE.**

The Project's site plan has been reviewed by the County's Land Use Services and Public Works departments and determined to have adequate access to the abutting roadways with the proposed roadway improvements which must be constructed in connection with Project development. Access to the Project site is provided by two commercial/industrial driveways, located along Cajon Boulevard, which will provide legal and physical access to the site. On-site circulation drive aisles meet San Bernardino County Fire Protection District standards.

- 3. THE PROPOSED USE WILL NOT HAVE A SUBSTANTIAL ADVERSE EFFECT ON ABUTTING PROPERTY OR THE ALLOWED USE OF THE ABUTTING PROPERTY, WHICH MEANS THE USE WILL NOT GENERATE EXCESSIVE NOISE, TRAFFIC, VIBRATION, LIGHTING, GLARE, OR OTHER DISTURBANCE.**

The Project is consistent with the land uses and development allowed within the Glen Helen Specific Plan, zoned Heavy Industrial (GHSP/HI). The proposed truck terminal with 28,680 sq. ft. cargo terminal and Project improvements have been designed to incorporate sufficient industrial performance standards and setbacks, and use building materials, colors and landscaping, including shades of white, and gray, with blue glazing on the windows facing

Cajon Blvd, that are complementary to the existing warehouse facilities to the south of the subject property. The Project design includes a 15-foot landscape setback from Cajon Blvd. and majority of the truck loading docks located at the rear of the building that further enhance the overall aesthetic quality of the development. The proposed use is located on a parcel of 9.2-acres in size. The proposed project is adjacent to a developed truck terminal to the north, a proposed truck terminal to the west (however on a currently vacant parcel), and an industrial warehouse development to the south vacant parcel to the south. The proposed use is required to comply with all requirements of the Glen Helen Specific Plan and/or County Development Code, as applicable, with respect to noise, vibration, lighting and glare. The proposed project is located on a vacant parcel, within a primarily industrial area of the County. The Project as conditioned and is not anticipated to have adverse effects on abutting properties.

4. THE PROPOSED USE AND MANNER OF DEVELOPMENT ARE CONSISTENT WITH THE GOALS, MAPS, POLICIES, AND STANDARDS OF THE COUNTY GENERAL PLAN AND ANY APPLICABLE COMMUNITY OR SPECIFIC PLAN.

The proposed Conditional Use Permit, together with the provisions for its design and improvement are consistent with the Policy Plan. The Project specifically implements the following goals and policies is consistent with the goals, policies, standards and maps of the Policy Plan. The project specifically implements the following San Bernardino Policy Plan goals and policies:

- Policy LU-2.1 Compatibility with existing uses. We require that new development is located, scaled, buffered, and designed to minimize negative impacts on existing conforming uses and adjacent neighborhoods.

Consistency: *The Project is appropriate because the use is allowed subject to a land use entitlement of a Conditional Use Permit and compatible with the size and scale of the surrounding industrial characteristics. The Project Site currently is vacant and proposed a structure which is similar in characteristics to the surrounding properties.*

- Policy LU-2.4 Land Use Map consistency. We consider proposed development that is consistent with the Land Use Map (i.e., it does not require a change in Land Use Category), to be generally compatible and consistent with surrounding land uses and a community's identity. Additional site, building, and landscape design treatment, per other policies in the Policy Plan and development standards in the Development Code, may be required to maximize compatibility with surrounding land uses and community identity.

Consistency: The Project is consistent with the Land Use Map and does not propose a change in the Land Use Category. The proposed use is generally compatible and consistent with surrounding land uses and community's identity.

5. THERE IS SUPPORTING INFRASTRUCTURE, EXISTING OR AVAILABLE, CONSISTENT WITH THE INTENSITY OF THE DEVELOPMENT, TO ACCOMMODATE THE PROPOSED PROJECT WITHOUT SIGNIFICANTLY LOWERING SERVICE LEVELS.

There is supporting infrastructure, available to accommodate the proposed development without significantly lowering service levels. Water service will be provided by the City of San Bernardino Municipal Water Department with an approved sewer connection. The site will require to connect to an existing water main line located on Cajon Blvd between Kendall Drive and Shelter Way and would have the capacity required for the proposed project. There are public services available to serve the site including water, electric, gas, telephone, and cable.

6. THE LAWFUL CONDITIONS STATED IN THE APPROVAL ARE DEEMED REASONABLE AND NECESSARY TO PROTECT THE OVERALL PUBLIC HEALTH, SAFETY AND GENERAL WELFARE.

The conditions of approval include measures that require the developer to comply with the performance measures outlined in the Glen Helen Specific Plan and/or County Development Code, as applicable. Therefore, the conditions stated in the approval are deemed necessary to protect the public health, safety and general welfare.

7. THE DESIGN OF THE SITE HAS CONSIDERED THE POTENTIAL FOR THE USE OF SOLAR ENERGY SYSTEMS AND PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES.

The location of the proposed Project was designed in a manner to not interfere with the future ability for the property owner to install a solar energy system. The project would not impede development of solar energy generation systems on adjacent parcels.

FINDINGS: CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

8. THE PROJECT WILL NOT HAVE A SIGNIFICANT ADVERSE IMPACT ON THE ENVIRONMENT, SUBJECT TO IMPLEMENTATION OF THE PROPOSED MITIGATION MEASURES.

The environmental findings, in accordance with Section 85.03.040 of the San Bernardino County Development Code, are as follows:

Pursuant to provisions of the California Environmental Quality Act (CEQA) and the San Bernardino County Environmental Review guidelines, the above referenced Project has been determined to not have a significant adverse impact on the environment with the implementation of all the required mitigation measures. A Mitigated Negative Declaration (MND) will be adopted and a Notice of Determination (NOD) will be filed in accordance with CEQA. The MND represents the independent judgment and analysis of the County acting as lead agency for the Project.

EXHIBIT D

Conditions of Approval



Conditions of Approval

| | | | |
|------------------------|--|--------------------------|--|
| Record: | PROJ-2021-00066 | System Date: | 01/22/2024 |
| Record Type: | Project Application | Primary APN: | 0262021130000 |
| Record Status: | Decision Pending | Application Name: | Conditional Use Permit for Route 66 Truck Parking & Cargo Terminal |
| Effective Date: | | Expiration Date: | |
| Description: | A CONDITIONAL USE PERMIT FOR A PHASED DEVELOPMENT TO CONSTRUCT A TRUCK TERMINAL WITH A 28,680 SQUARE FOOT CARGO TERMINAL; PHASE 1 – 9,360 SQFT CARGO TERMINAL WITH A TRUCK VEHICLE REPAIR SHOP AND PHASE 2 – 19,320 SQFT CARGO TERMINAL; ON TWO PARCELS APPROXIMATELY 9.2-ACRES; LOCATED AT 19472 CAJON BOULEVARD, WITHIN THE GLEN HELEN SPECIFIC PLAN, ZONED HEAVY INDUSTRIAL (GHSP/HI); WITHIN THE CITY OF SAN BERNARDINO SPHERE OF INFLUENCE AREA; 5TH SUPERVISORIAL DISTRICT; APNS: 0262-021-09 AND 0262-021-13; PROJECT NUMBER PROJ-2021-00066. | | |

This document does not signify project approval.

If the project has been approved, then an effective date and an expiration date for these conditions can be found below. This content reflects County records as at the System Date and time below.

The following conditions of approval have been imposed for the project identified below. The applicant/developer shall complete all conditions of approval stipulated in the approval letter.

Conditions of Approval are organized by project phase, then by status, and finally by department imposing the condition.

On-going conditions must be complied with at all times. For assistance interpreting the content of this document, please contact the Land Use Services Department Planning Division.

Contact information is provided at the end of this document for follow-up on individual conditions.

ON-GOING

Land Use Services - Planning

1 **Project Approval Description (CUP/MUP)** - Status: Outstanding

This Project is conditionally approved to A CONDITIONAL USE PERMIT FOR A PHASED DEVELOPMENT TO CONSTRUCT A TRUCK TERMINAL WITH A 28,680 SQUARE FOOT CARGO TERMINAL; PHASE 1 – 9,360 SQFT CARGO TERMINAL WITH A TRUCK VEHICLE REPAIR SHOP AND PHASE 2 – 19,320 SQFT CARGO TERMINAL; ON TWO PARCELS APPROXIMATELY 9.2-ACRES; LOCATED AT 19472 CAJON BOULEVARD, WITHIN THE GLEN HELEN SPECIFIC PLAN, ZONED HEAVY INDUSTRIAL (GHSP/HI); WITHIN THE CITY OF SAN BERNARDINO SPHERE OF INFLUENCE AREA; 5TH SUPERVISORIAL DISTRICT; APNS: 0262-021-09 AND 0262-021-13; PROJECT NUMBER PROJ-2021-00066 in compliance with the San Bernardino County Code (SBCC), California Building Codes (CBC), the San Bernardino County Fire Code (SBCFC), the following Conditions of Approval, the approved site plan, and all other required and approved reports and displays (e.g. elevations). The developer shall provide a copy of the approved conditions and the approved site plan to every current and future project tenant, lessee, and property owner to facilitate compliance with these Conditions of Approval and continuous use requirements for the Project.

2 **Project Location** - Status: Outstanding

The Project site is located 19472 Cajon Boulevard, San Bernardino.

3 **Revisions** - Status: Outstanding

Any proposed change to the approved Project and/or conditions of approval shall require that an additional land use application (e.g. Revision to an Approved Action) be submitted to County Land Use Services for review and approval.

4 **Indemnification** - Status: Outstanding

In compliance with SBCC §81.01.070, the developer shall agree, to defend, indemnify, and hold harmless the County or its "indemnitees" (herein collectively the County's elected officials, appointed officials (including Planning Commissioners), Zoning Administrator, agents, officers, employees, volunteers, advisory agencies or committees, appeal boards or legislative body) from any claim, action, or proceeding against the County or its indemnitees to attack, set aside, void, or annul an approval of the County by an indemnitee concerning a map or permit or any other action relating to or arising out of County approval, including the acts, errors or omissions of any person and for any costs or expenses incurred by the indemnitees on account of any claim, except where such indemnification is prohibited by law. In the alternative, the developer may agree to relinquish such approval. Any condition of approval imposed in compliance with the County Development Code or County General Plan shall include a requirement that the County acts reasonably to promptly notify the developer of any claim, action, or proceeding and that the County cooperates fully in the defense. The developer shall reimburse the County and its indemnitees for all expenses resulting from such actions, including any court costs and attorney fees, which the County or its indemnitees may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the developer of their obligations under this condition to reimburse the County or its indemnitees for all such expenses. This indemnification provision shall apply regardless of the existence or degree of fault of indemnitees. The developer's indemnification obligation applies to the indemnitees' "passive" negligence but does not apply to the indemnitees' "sole" or "active" negligence or "willful misconduct" within the meaning of Civil Code Section 2782.

5 **Additional Permits** - Status: Outstanding

The developer shall ascertain compliance with all laws, ordinances, regulations and any other requirements of Federal, State, County and Local agencies that may apply for the development and operation of the approved land use. These may include but are not limited to: a. FEDERAL: b. STATE: c. COUNTY: d. LOCAL:

6 Expiration - Status: Outstanding

This project permit approval shall expire and become void if it is not "exercised" within 36 months of the effective date of this approval, unless an extension of time is approved. The permit is deemed "exercised" when either: (a.) The permittee has commenced actual construction or alteration under a validly issued building permit, or (b.) The permittee has substantially commenced the approved land use or activity on the project site, for those portions of the project not requiring a building permit. (SBCC §86.06.060) (c.) Occupancy of approved land use, occupancy of completed structures and operation of the approved and exercised land use remains valid continuously for the life of the project and the approval runs with the land, unless one of the following occurs: - Construction permits for all or part of the project are not issued or the construction permits expire before the structure is completed and the final inspection is approved. - The land use is determined by the County to be abandoned or non-conforming. - The land use is determined by the County to be not operating in compliance with these conditions of approval, the County Code, or other applicable laws, ordinances or regulations. In these cases, the land use may be subject to a revocation hearing and possible termination. PLEASE NOTE: This will be the ONLY notice given of this approval's expiration date. The developer is responsible to initiate any Extension of Time application.

7 Continuous Effect/Revocation - Status: Outstanding

All of the conditions of this project approval are continuously in effect throughout the operative life of the project for all approved structures and approved land uses/activities. Failure of the property owner or developer to comply with any or all of the conditions at any time may result in a public hearing and possible revocation of the approved land use, provided adequate notice, time and opportunity is provided to the property owner, developer or other interested party to correct the non-complying situation.

8 Extension of Time - Status: Outstanding

Extensions of time to the expiration date (listed above or as otherwise extended) may be granted in increments each not to exceed an additional three years beyond the current expiration date. An application to request consideration of an extension of time may be filed with the appropriate fees no less than thirty days before the expiration date. Extensions of time may be granted based on a review of the application, which includes a justification of the delay in construction and a plan of action for completion. The granting of such an extension request is a discretionary action that may be subject to additional or revised conditions of approval or site plan modifications. (SBCC §86.06.060)

9 Project Account - Status: Outstanding

The Project account number is PROJ-2021-00066. This is an actual cost project with a deposit account to which hourly charges are assessed by various county agency staff (e.g. Land Use Services, Public Works, and County Counsel). Upon notice, the "developer" shall deposit additional funds to maintain or return the account to a positive balance. The "developer" is responsible for all expense charged to this account. Processing of the project shall cease, if it is determined that the account has a negative balance and that an additional deposit has not been made in a timely manner. A minimum balance of \$1,000.00 must be in the project account at the time the Condition Compliance Review is initiated. Sufficient funds must remain in the account to cover the charges during each compliance review. All fees required for processing shall be paid in full prior to final inspection, occupancy and operation of the approved use.

10 Development Impact Fees - Status: Outstanding

Additional fees may be required prior to issuance of development permits. Fees shall be paid as specified in adopted fee ordinances

11 Condition Compliance - Status: Outstanding

The project requires signatures to be obtained on the provided Condition Compliance Release Form (CCRFs) from appropriate departments to receive sign-offs.

12 Performance Standards - Status: Outstanding

The approved land uses shall operate in compliance with the general performance standards listed in the County Development Code Chapter 83.01, regarding air quality, electrical disturbance, fire hazards (storage of flammable or other hazardous materials), heat, noise, vibration, and the disposal of liquid waste

13 Continous Maintenance - Status: Outstanding

The Project property owner shall continually maintain the property so that it is visually attractive and not dangerous to the health, safety and general welfare of both on-site users (e.g. employees) and surrounding properties. The property owner shall ensure that all facets of the development are regularly inspected, maintained and that any defects are timely repaired. Among the elements to be maintained, include but are not limited to: a) Annual maintenance and repair: The developer shall conduct inspections for any structures, fencing/walls, driveways, and signs to assure proper structural, electrical, and mechanical safety. b) Graffiti and debris: The developer shall remove graffiti and debris immediately through weekly maintenance. c) Landscaping: The developer shall maintain landscaping in a continual healthy thriving manner at proper height for required screening. Drought-resistant, fire retardant vegetation shall be used where practicable. Where landscaped areas are irrigated it shall be done in a manner designed to conserve water, minimizing aerial spraying. d) Dust control: The developer shall maintain dust control measures on any undeveloped areas where landscaping has not been provided. e) Erosion control: The developer shall maintain erosion control measures to reduce water runoff, siltation, and promote slope stability. f) External Storage: The developer shall maintain external storage, loading, recycling and trash storage areas in a neat and orderly manner, and fully screened from public view. Outside storage shall not exceed the height of the screening walls. g) Metal Storage Containers: The developer shall NOT place metal storage containers in loading areas or other areas unless specifically approved by this or subsequent land use approvals. h) Screening: The developer shall maintain screening that is visually attractive. All trash areas, loading areas, mechanical equipment (including roof top) shall be screened from public view. i) Signage: The developer shall maintain all on-site signs, including posted area signs (e.g. "No Trespassing") in a clean readable condition at all times. The developer shall remove all graffiti and repair vandalism on a regular basis. Signs on the site shall be of the size and general location as shown on the approved site plan or subsequently a County-approved sign plan. j) Lighting: The developer shall maintain any lighting so that they operate properly for safety purposes and do not project onto adjoining properties or roadways. Lighting shall adhere to applicable glare and night light rules. k) Parking and on-site circulation: The developer shall maintain all parking and on-site circulation requirements, including surfaces, all markings and traffic/directional signs in an un-faded condition as identified on the approved site plan. Any modification to parking and access layout requires the Planning Division review and approval. The markings and signs shall be clearly defined, un-faded and legible; these include parking spaces, disabled space and access path of travel, directional designations and signs, stop signs, pedestrian crossing, speed humps and "No Parking", "Carpool", and "Fire Lane" designations. l) Fire Lanes: The developer shall clearly define and maintain in good condition at all times all markings required by the Fire Department, including "No Parking" designations and "Fire Lane" designations.

14 Clear Sight Triangle - Status: Outstanding

Adequate visibility for vehicular and pedestrian traffic shall be provided at clear sight triangles at all 90 degree angle intersections of public rights-of-way and private driveways. All signs, structures and landscaping located within any clear sight triangle shall comply with the height and location requirements specified by County Development Code (SBCC§ 83.02.030) or as otherwise required by County Traffic

15 Lighting - Status: Outstanding

Lighting shall comply with Table 83-7 "Shielding Requirements for Outdoor Lighting in the Mountain Region and Desert Region" of the County's Development Code (i.e. "Dark Sky" requirements). All lighting shall be limited to that necessary for maintenance activities and security purposes. This is to allow minimum obstruction of night sky remote area views. No light shall project onto adjacent roadways in a manner that interferes with on-coming traffic. All signs proposed by this project shall only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or in the case of an approved electronic message center sign, an alternating message no more than once every five seconds.

16 **Underground Utilities** - Status: Outstanding

No new above-ground power or communication lines shall be extended to the site. All required utilities shall be placed underground in a manner that complies with the California Public Utilities Commission General Order 128, and avoids disturbing any existing/natural vegetation or the site appearance.

17 **Construction Hours** - Status: Outstanding

Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m., Monday through Saturday in accordance with the County of San Bernardino Development Code standards. No construction activities are permitted outside of these hours or on Sundays and Federal holidays.

18 **Construction Noise** - Status: Outstanding

The following measures shall be adhered to during the construction phase of the project: - All construction equipment shall be muffled in accordance with manufacturer's specifications. - All construction staging shall be performed as far as possible from occupied dwellings. The location of staging areas shall be subject to review and approval by the County prior to the issuance of grading and/or building permits. - All stationary construction equipment shall be placed in a manner so that emitted noise is directed away from sensitive receptors (e.g. residences and schools) nearest the project site.

Public Health– Environmental Health Services

19 **Noise Levels** - Status: Outstanding

Noise level shall be maintained at or below County Standards, Development Code Section 83.01.080.

20 **OWTS Maintenance** - Status: Outstanding

The onsite wastewater treatment system shall be maintained so as not to create a public nuisance and shall be serviced by an EHS permitted pumper.

21 **Refuse Storage and Disposal** - Status: Outstanding

All refuse generated at the premises shall at all times be stored in approved containers and shall be placed in a manner so that environmental public health nuisances are minimized. All refuse not containing garbage shall be removed from the premises at least 1 time per week, or as often as necessary to minimize public health nuisances. Refuse containing garbage shall be removed from the premises at least 2 times per week, or as often if necessary to minimize public health nuisances, by a permitted hauler to an approved solid waste facility in conformance with San Bernardino County Code Chapter 8, Section 33.0830 et. seq.

Public Works - Traffic

22 **Access** - Status: Outstanding

The access point to the facility shall remain unobstructed at all times, except a driveway access gate which may be closed after normal working hours.

23 **Access** - Status: Outstanding

The access point to the facility shall remain unobstructed at all times, except a driveway access gate which may be closed after normal working hours.

24 **Back Out Into Public Roadways** - Status: Outstanding

Project vehicles shall not back up into the project site nor shall they back out into the public roadway.

25 **Back Out Into Public Roadways** - Status: Outstanding

Project vehicles shall not back up into the project site nor shall they back out into the public roadway.

INFORMATIONAL

County Fire - Community Safety

26 **Additional Requirements** - Status: Outstanding

In addition to the Fire requirements stated herein, other onsite and offsite improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to this office. 1. 30' access roads will be required 2. Deferred submittal required for Sprinklers and Alarms

27 **Jurisdiction** - Status: Outstanding

The above referenced project is under the jurisdiction of the San Bernardino County Fire Department herein "Fire Department". Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable status, codes, ordinances and standards of the Fire Department.

28 **Sprinkler Installation Letter** - Status: Outstanding

The applicant shall submit a letter to the Fire Department agreeing and committing to installation of a fire protection system prior to the building inspection for drywall and insulation.

29 **Standard B-1 PREMISE AND BUILDING IDENTIFICATION AND ADDRESSING** - Status: Outstanding

This standard applies to the marking of all buildings with address numbers for identification.

30 **Standard B-2 CONSTRUCTION SITE FIRE SAFETY** - Status: Outstanding

This standard establishes minimum requirements for fire safety during construction and demolition. This document shall not be construed to be in lieu of any other applicable State or Federal law or regulation related to construction site safety. The general contractor or other designee of the building owner shall be responsible for compliance with these standards.

31 **Standard F-1 FIRE SPRINKLER SYSTEMS IN COMMERCIAL AND INDUSTRIAL BUILDINGS** - Status: Outstanding

This standard, in conjunction with the latest edition of NFPA 13, shall apply to the design and installation of, and the modification to, all fire sprinkler systems in commercial and industrial occupancies. This standard and its interpretation is not intended to be applied or enforced where there is any conflict with NFPA 13 or the California Fire Code.

32 **Standard F-4 POST INDICATOR VALVES AND FIRE DEPARTMENT CONNECTIONS** - Status: Outstanding

This standard, in conjunction with the latest edition of NFPA 13, NFPA 13R and NFPA 24, shall apply to the design and installation of, and the modification to, all new and existing fire sprinkler systems in commercial and industrial buildings and multi-family dwellings. This standard and its interpretation shall take NOT precedent where there is any conflict with NFPA standards.

33 **Standard F-5 DESIGN, INSTALLATION AND MAINTENANCE OF FIRE ALARM SYSTEMS** - Status: Outstanding

This standard applies to all new installations and modifications of existing fire alarm systems, within new construction as well as building additions and tenant improvements within existing buildings. This standard and its interpretation is not intended to be applied or enforced where there is any conflict with NFPA 72 or the California Fire Code.

34 **Standard S-1 HIGH PILE STORAGE/WAREHOUSE BUILDINGS** - Status: Outstanding

This standard shall apply to all storage occupancies designated as High Pile Storage as defined by the current California Fire Code (CFC), Chapter 32, the San Bernardino County Fire Code and Standards, and any other nationally applicable standards.

35 **Standard W-2 ONSITE FIRE PROTECTION WATER SYSTEMS** - Status: Outstanding

This standard establishes minimum requirements for installation and maintenance of all private fire hydrants and appliances related to an onsite fire protection system.

Land Use Services - Land Development

36 **Additional Drainage Requirements** - Status: Outstanding

In addition to drainage requirements stated herein, other "on-site" and/or "off-site" improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to this office.

37 **BMP Enforcement** - Status: Outstanding

In the event the property owner/"developer" (including any successors or assigns) fails to accomplish the necessary BMP maintenance within five (5) days of being given written notice by the County Department of Public Works, then the County shall cause any required maintenance to be done. The entire cost and expense of the required maintenance shall be charged to the property owner and/or "developer", including administrative costs, attorney's fees, and interest thereon at the rate authorized by the County Code from the date of the original notice to the date the expense is paid in full.

38 **Continuous BMP Maintenance** - Status: Outstanding

The property owner/"developer" is required to provide periodic and continuous maintenance of all Best Management Practices (BMP) devices/facilities listed in the County approved final Water Quality Management Plan (WQMP) for the project. Refer to approved WQMP maintenance section.

39 **Erosion Control Installation** - Status: Outstanding

Erosion control devices must be installed and maintained at all perimeter openings and slopes throughout the construction of the project. No sediment is to leave the job site.

40 **Natural Drainage** - Status: Outstanding

The natural drainage courses traversing the site shall not be occupied or obstructed.

41 **Tributary Drainage** - Status: Outstanding

Adequate provisions should be made to intercept and conduct the tributary off-site and on-site 100-year drainage flows around and through the site in a manner that will not adversely affect adjacent or downstream properties at the time the site is developed.

Public Works - Solid Waste Management

42 **Franchise Hauler Service Area** - Status: Outstanding

This project falls within a County Franchise Area. If subscribing for the collection and removal of construction and demolition waste from the project site, all developers, contractors, and subcontractors shall be required to receive services through the grantee holding a franchise agreement in the corresponding County Franchise Area (Burrtec Waste- dba Jack's Disposal).

43 **Mandatory Trash, Organic Waste, and Recycling Service** - Status: Outstanding

This property falls within a Uniform Handling Service area and is subject to California Senate Bill (SB) 1383. All owners of a dwelling or a commercial or industrial unit within the uniform handling area shall, upon notice thereof, be required to accept uniform handling service from the grantee holding a franchise agreement for trash, recycling, and organic waste (includes green waste and food waste) collection services and pay the rates of such services; or apply to the County for a self-haul exemption from uniform handling service. This requirement is a stipulation of County Code Title 4, Division 6, Chapter 5.

44 **Recycling Storage Capacity** - Status: Outstanding

The developer shall provide adequate space and storage bins for both refuse and recycling materials. This requirement is to assist the County in compliance with the recycling requirements of California Assembly Bill (AB) 2176.

PRIOR TO LAND DISTURBANCE

Land Use Services - Planning

45 **County Agency Condition** - Status: Outstanding

Any encroachments on the San Bernardino County Flood Control District's (SBCFCD) road right-of-way or facilities, including but not limited to access, fencing and grading, utility crossings, landscaping, new and/or alteration to drainage connections will require a permit from the SBCFCD prior to start of construction. If you have any questions regarding this process, please contact Johnny Gayman, Chief, SBCFCD Permits Division at (909) 387-1863.

46 **County Agency Condition** - Status: Outstanding

When planning for or altering existing or future storm drains, the Project is subject to the Comprehensive Storm Drain Plan No. 7, dated December 1982. It is to be used as a guideline for drainage in the area and is available in the San Bernardino County Department of Public Works, Flood Control Planning Division offices. Any revision to the drainage should be reviewed and approved by the jurisdictional agency. Flood Control Planning Division (Michael Fam, Chief, 909-387-8120).

47 **Diesel Regulations** - Status: Outstanding

The operator shall comply with all existing and future California Air Resources Board and South Coast Air Quality Management District regulations related to diesel-fueled trucks, which among others may include: (1) meeting more stringent emission standards; (2) retrofitting existing engines with particulate traps; (3) use of low sulfur fuel; and (4) use of alternative fuels or equipment. South Coast Air Quality District rules for diesel emissions from equipment and trucks are embedded in the compliance for all diesel fueled engines, trucks, and equipment with the statewide California Air Resources Board Diesel Reduction Plan. These measures will be implemented by the California Air Resources Board in phases with new rules imposed on existing and new diesel-fueled engines.

48 **GHG - Construction Standards** - Status: Outstanding

The developer shall submit for review and obtain approval from County Planning of a signed letter agreeing to include as a condition of all construction contracts/subcontracts requirements to reduce GHG emissions and submitting documentation of compliance. The developer/construction contractors shall do the following: a) Implement the approved Coating Restriction Plans. b) Select construction equipment based on low GHG emissions factors and high-energy efficiency. All diesel/gasoline-powered construction equipment shall be replaced, where possible, with equivalent electric or CNG equipment. c) Grading contractor shall provide and implement the following when possible: - training operators to use equipment more efficiently. - identifying the proper size equipment for a task can also provide fuel savings and associated reductions in GHG emissions. - replacing older, less fuel-efficient equipment with newer models. - use GPS for grading to maximize efficiency. d) Grading plans shall include the following statements: - "All construction equipment engines shall be properly tuned and maintained in accordance with the manufacturers specifications prior to arriving on site and throughout construction duration." - "All construction equipment (including electric generators) shall be shut off by work crews when not in use and shall not idle for more than 5 minutes." e) Schedule construction traffic ingress/egress to not interfere with peak-hour traffic and to minimize traffic obstructions. Queuing of trucks on and off site shall be firmly discouraged and not scheduled. A flagperson shall be retained to maintain efficient traffic flow and safety adjacent to existing roadways. f) Recycle and reuse construction and demolition waste (e.g. soil, vegetation, concrete, lumber, metal, and cardboard) per County Solid Waste procedures. g) The construction contractor shall support and encourage ridesharing and transit incentives for the construction crew and educate all construction workers about the required waste reduction and the availability of recycling services.

49 **Mitigation Measures** - Status: Outstanding

Please see Mitigation Monitoring and Reporting Program for mitigation measures to be completed prior to grading permit issuance.

Land Use Services - Building and Safety50 **Geotechnical Report** - Status: Outstanding

A geotechnical (soil) report shall be submitted to the Building and Safety Division for review and approval prior to issuance of grading permits or land disturbance.

51 **Wall Plans** - Status: Outstanding

Submit plans and obtain separate building permits for any required retaining walls.

Land Use Services - Land Development52 **Drainage Improvements** - Status: Outstanding

A Registered Civil Engineer (RCE) shall investigate and design adequate drainage improvements to intercept and conduct the off-site and on-site 100-year drainage flows around and through the site in a safety manner that will not adversely affect adjacent or downstream properties. Submit drainage study for review and obtain approval. A \$750 deposit for drainage study review will be collected upon submittal to the Land Development Division. Deposit amounts are subject to change in accordance with the latest approved fee schedule.

53 **FEMA Flood Zone** - Status: Outstanding

The project is located within Flood Zone X-Unshaded according to FEMA Panel Number 06071C7910H dated 8/28/2008. No elevation requirements. The requirements may change based on the recommendations of a drainage study accepted by the Land Development Division and the most current Flood Map prior to issuance of grading permit.

54 **Grading Plans** - Status: Outstanding

Grading and erosion control plans shall be prepared in accordance with the County's guidance documents (which can be found here: <https://lus.sbcounty.gov/land-development-home/grading-and-erosion-control/>) and submitted for review with approval obtained prior to construction. All drainage and WQMP improvements shall be shown on the grading plans according to the approved final drainage study and WQMP reports. Fees for grading plans will be collected upon submittal to the Land Development Division and are determined based on the amounts of cubic yards of cut and fill. Fee amounts are subject to change in accordance with the latest approved fee schedule.

55 **NPDES Permit** - Status: Outstanding

An NPDES permit - Notice of Intent (NOI) - is required on all grading of one (1) acre or more prior to issuance of a grading/construction permit. Contact your Regional Water Quality Control Board for specifics. www.swrcb.ca.gov

56 **On-site Flows** - Status: Outstanding

On-site flows need to be directed to the nearest County maintained road or drainage facilities unless a drainage acceptance letter is secured from the adjacent property owners and provided to Land Development.

57 **Regional Board Permit** - Status: Outstanding

Construction projects involving one or more acres must be accompanied by Regional Board permit WDID #. Construction activity includes clearing, grading, or excavation that results in the disturbance of at least one (1) acre of land total.

58 **WQMP** - Status: Outstanding

A completed Water Quality Management Plan (WQMP) shall be submitted for review and approval obtained prior to construction. A \$2,650 deposit for WQMP review will be collected upon submittal to the Land Development Division. Deposit amounts are subject to change in accordance with the latest approved fee schedule. Review processed on an actual cost basis. Copies of the WQMP guidance and template can be found at: (<https://dpw.sbcounty.gov/wqmp-templates-and-forms/>)

59 **WQMP Inspection Fee** - Status: Outstanding

The developer shall provide a \$3,600 deposit to Land Development Division for inspection of the approved WQMP. Deposit amounts are subject to change in accordance with the latest approved fee schedule.

Public Health– Environmental Health Services60 **Vector Control Requirement** - Status: Outstanding

The project area has a high probability of containing vectors. A vector survey shall be conducted to determine the need for any required control programs. A vector clearance application shall be submitted to the appropriate Mosquito & Vector Control Program. For information, contact EHS Mosquito & Vector Control Program at (800) 442-2283 or West Valley Mosquito & Vector at (909) 635-0307.

Public Works - Surveyor61 **Corner Records Required Before Grading** - Status: Outstanding

Pursuant to Sections 8762(b) and/or 8773 of the Business and Professions Code, a Record of Survey or Corner Record shall be filed under any of the following circumstances: a. Monuments set to mark property lines or corners; b. Performance of a field survey to establish property boundary lines for the purposes of construction staking, establishing setback lines, writing legal descriptions, or for boundary establishment/mapping of the subject parcel; c. Any other applicable circumstances pursuant to the Business and Professions Code that would necessitate filing of a Record of Survey.

62 **Monument Disturbed by Grading** - Status: Outstanding

If any activity on this project will disturb ANY land survey monumentation, including but not limited to vertical control points (benchmarks), said monumentation shall be located and referenced by or under the direction of a licensed land surveyor or registered civil engineer authorized to practice land surveying PRIOR to commencement of any activity with the potential to disturb said monumentation, and a corner record or record of survey of the references shall be filed with the County Surveyor pursuant to Section 8771(b) Business and Professions Code.

PRIOR TO BUILDING PERMIT ISSUANCE**Land Use Services - Planning**63 **Architecture** - Status: Outstanding

Architectural elevations are considered conceptual. Final details with colors and material samples shall be submitted to the Planning Division for approval prior to building plan check submittal.

64 **Landscape and Irrigation Plan** - Status: Outstanding

Landscape and Irrigation Plans shall be prepared in conformance with Chapter 83.10, Landscaping Standards, of the County Development Code. The developer shall submit four copies of a landscape and irrigation plan to County Planning.

65 **Lighting Plans** - Status: Outstanding

The developer shall submit for review and approval to County Planning a photometric study demonstrating that the project light does not spill onto the adjacent properties, or public streets. Lighting fixtures shall be oriented and focused to the onsite location intended for illumination (e.g. walkways). Lighting shall be shielded away from adjacent sensitive uses, including the adjacent residential development, to minimize light spillover. The glare from any luminous source, including on-site lighting, shall not exceed 0.5 foot-candle at the property line. This shall be done to the satisfaction of County Planning, in coordination with County Building and Safety.

66 **Mitigation Measures** - Status: Outstanding

Please see Mitigation Monitoring and Reporting Program for mitigation measures to be completed prior to building permit issuance

67 **Signs** - Status: Outstanding

All proposed on-site signs shall be shown on a separate plan, including location, scaled and dimensioned elevations of all signs with lettering type, size, and copy. Scaled and dimensioned elevations of buildings that propose signage shall also be shown. The applicant shall submit sign plans to County Planning for all existing and proposed signs on this site. The applicant shall submit for approval any additions or modifications to the previously approved signs. All signs shall comply with SBCC Chapter 83.13, Sign Regulations, SBCC §83.07.040, Glare and Outdoor Lighting Mountain and Desert Regions, and SBCC Chapter 82.19, Open Space Overlay as it relates to Scenic Highways (§82.19.040), in addition to the following minimum standards: a. All signs shall be lit only by steady, stationary shielded light; exposed neon is acceptable. b. All sign lighting shall not exceed 0.5 foot-candle. c. No sign or stationary light source shall interfere with a driver's or pedestrian's view of public right-of-way or in any other manner impair public safety. d. Monument signs shall not exceed four feet above ground elevation and shall be limited to one sign per street frontage.

County Fire - Community Safety

68 **Building Plans** - Status: Outstanding

Building plans shall be submitted to the Fire Department for review and approval.

69 **Combustible Protection** - Status: Outstanding

Prior to combustibles being placed on the project site an approved all-weather fire apparatus access surface and operable fire hydrants with acceptable fire flow shall be installed. The topcoat of asphalt does not have to be installed until final inspection and occupancy.

70 **Haz-Mat Approval** - Status: Outstanding

The applicant shall contact the San Bernardino County Fire Department/Hazardous Materials Division (909) 386-8401 for review and approval of building plans, where the planned use of such buildings will or may use hazardous materials or generate hazardous waste materials.

71 **Primary Access Paved** - Status: Outstanding

Prior to building permits being issued to any new structure, the primary access road shall be paved or an all-weather surface and shall be installed as specified in the General Requirement conditions, including width, vertical clearance and turnouts.

72 **Secondary Access Paved** - Status: Outstanding

Prior to building permits being issued to any new structure, the secondary access road shall be paved or an all-weather surface and shall be installed as specified in the General Requirement conditions including width, vertical clearance and turnouts.

- 73 **Solar** - Status: Outstanding
Solar / Photovoltaic System Plans. Plans shall be submitted online through EZOP to the Fire Department for review and approval. Plans must be submitted and approved prior to Conditional Compliance Release of Building.
- 74 **Surface** - Status: Outstanding
Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. Road surface shall meet the approval of the Fire Chief prior to installation. All roads shall be designed to 85% compaction and/or paving and hold the weight of Fire Apparatus at a minimum of 80K pounds.
- 75 **Water System** - Status: Outstanding
Prior to any land disturbance, the water systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using California Fire Code. The Fire Flow for this project shall be: 2250 GPM for a 2 hour duration at 20 psi residual operating pressure. Fire Flow is based on a 28,680 sq.ft. structure.
- 76 **Water System Certification** - Status: Outstanding
The applicant shall provide the Fire Department with a letter from the serving water company, certifying that the required water improvements have been made or that the existing fire hydrants and water system will meet distance and fire flow requirements. Fire flow water supply shall be in place prior to placing combustible materials on the job site.

Land Use Services - Building and Safety

- 77 **Construction Plans** - Status: Outstanding
Any building, sign, or structure to be added to, altered (including change of occupancy/use), constructed, or located on site, will require professionally prepared plans based on the most current adopted County and California Building Codes, submitted for review and approval by the Building and Safety Division.
- 78 **Temporary Use Permit** - Status: Outstanding
A Temporary Structures (TS) permit for non-residential structures for use as office, retail, meeting, assembly, wholesale, manufacturing, and/ or storage space will be required. A Temporary Use Permit (PTUP) for the proposed structure by the Planning Division must be approved prior to the TS Permit approval. A TS permit is renewed annually and is only valid for a maximum of five (5) years.

Land Use Services - Land Development

- 79 **Construction Permits** - Status: Outstanding
Prior to installation of road and drainage improvements, a construction permit is required from the County Department of Public Works, Permits/Operations Support Division, Transportation Permits Section (909) 387-1863 as well as other agencies prior to work within their jurisdiction. Submittal shall include a materials report and pavement section design in support of the section shown on the plans. Applicant shall conduct classification counts and compute a Traffic Index (TI) Value in support of the pavement section design.
- 80 **Encroachment Permits** - Status: Outstanding
Prior to installation of driveways, sidewalks, etc., an encroachment permit is required from the County Department of Public Works, Permits/Operations Support Division, Transportation Permits Section (909) 387-1863 as well as other agencies prior to work within their jurisdiction.

81 Regional Transportation Fee - Status: Outstanding

This project falls within the Regional Transportation Development Mitigation Fee Plan Area for the San Bernardino Subarea. The Regional Transportation Development Mitigation Plan Fee (Plan Fee) shall be paid to the Land Use Services Department. The Plan Fee shall be computed in accordance with the Plan Fee Schedule in effect as of the date that the building plans are submitted and the building permit is applied for. The Plan Fee is subject to change periodically. Currently, the fee is \$1.89 per square foot for Industrial Use, which includes the 28,680 square foot building per the site plan dated 08/02/2022. Therefore, the estimated Regional Transportation Fees for the Project is \$54,205.20. The current Regional Transportation Development Mitigation Plan can be found at the following website:
<https://www.sbcounty.gov/uploads/DPW/docs/Fee-Schedule-Regional-Plan.pdf>

82 Road Dedication/Improvements - Status: Outstanding

The developer shall submit for review and obtain approval from the Land Use Services Department the following dedications and plans for the listed required improvements, designed by a Registered Civil Engineer (RCE) licensed in the State of California: Cajon Boulevard (Major Highway Per Glen Helen Specific Plan – 104 Feet): •Road Dedication. An additional 2-foot grant of easement is required to provide a half-width right-of-way of 52 feet. •Street Improvements. Design curb and gutter with match up paving 40 feet from centerline. •Sidewalks. Design sidewalks per County Standard 109 Type "C". •Curb Returns and Sidewalk Ramps. Curb returns and sidewalk ramps shall be designed per County Standard 110 and Caltrans standard A88A. Adequate easement shall be provided to ensure sidewalk improvements are within Public right-of-way. •Driveway Approach. Design driveway approach per County Standard 129B and located per County Standard 130.

83 Road Standards and Design - Status: Outstanding

All required street improvements shall comply with latest San Bernardino County Road Planning and Design Standards and the San Bernardino County Standard Plans. Road sections shall be designed to Valley Road Standards of San Bernardino County and to the policies and requirements of the County Department of Public Works and in accordance with the General Plan, Circulation Element.

84 Slope Easements - Status: Outstanding

Slope rights shall be dedicated where necessary.

85 Slope Tests - Status: Outstanding

Slope stability tests are required for road cuts or road fills per recommendations of the Geotechnical Engineer to the satisfaction of the County Department of Public Works.

86 Soils Testing - Status: Outstanding

Any grading within the road right-of-way prior to the signing of the improvement plans shall be accomplished under the direction of a soils testing engineer. Compaction tests of embankment construction, trench back fill, and all sub-grades shall be performed at no cost to the County and a written report shall be submitted to the Permits/Operations Support Division, Transportation Permits Section of the County Department of Public Works prior to any placement of base materials and/or paving.

87 Street Gradients - Status: Outstanding

Road profile grades shall not be less than 0.5% unless the engineer at the time of submittal of the improvement plans provides justification to the satisfaction of the County Department of Public Works confirming the adequacy of the grade.

88 Street Type Entrance - Status: Outstanding

Street type entrance(s) with curb returns shall be constructed at the entrance(s) to the development.

89 Transitional Improvements - Status: Outstanding

Right-of-way and improvements (including off-site) to transition traffic and drainage flows from proposed to existing sections shall be required as necessary.

90 **Utilities** - Status: Outstanding

Final plans and profiles shall indicate the location of any existing utility facility or utility pole which would affect construction, and any such utility shall be relocated as necessary without cost to the County.

Public Health– Environmental Health Services

91 **Existing Wells** - Status: Outstanding

If wells are found on-site, evidence shall be provided that all wells are: (1) properly destroyed, by an approved C57 contractor and under permit from the County OR (2) constructed to EHS standards, properly sealed and certified as inactive OR (3) constructed to EHS standards and meet the quality standards for the proposed use of the water (industrial and/or domestic). Evidence, such as a well certification, shall be submitted to EHS for approval.

92 **Preliminary Acoustical Information** - Status: Outstanding

Submit preliminary acoustical information demonstrating that the proposed project maintains noise levels at or below San Bernardino County Noise Standard(s), San Bernardino Development Code Section 83.01.080. The purpose is to evaluate potential future on-site and/or adjacent off-site noise sources. If the preliminary information cannot demonstrate compliance to noise standards, a project specific acoustical analysis shall be required. Submit information/analysis to the EHS for review and approval. For information and acoustical checklist, contact EHS at (800) 442-2283.

93 **Sewage Disposal** - Status: Outstanding

Method of sewage disposal shall be sewer service provided by City of San Bernardino or an EHS approved onsite wastewater treatment system (OWTS) that conforms to the Local Agency Management Program (LAMP).

94 **Sewer Service Verification Letter** - Status: Outstanding

Applicant shall procure a verification letter from the sewer service provider identified. This letter shall state whether or not sewer connection and service shall be made available to the project by the sewer provider. The letter shall reference the Assessor's Parcel Number(s).

95 **Water Purveyor** - Status: Outstanding

Water purveyor shall be City of San Bernardino Municipal Water Department or EHS approved.

96 **Water Service Verification Letter** - Status: Outstanding

Applicant shall procure a verification letter from the water service provider. This letter shall state whether or not water connection and service shall be made available to the project by the water provider. This letter shall reference the File Index Number and Assessor's Parcel Number(s). For projects with current active water connections, a copy of water bill with project address may suffice.

Public Works - Solid Waste Management

97 **Construction Waste Management Plan (CWMP) Part 1** - Status: Outstanding

The developer shall prepare, submit, and obtain approval from SWMD of a CDWMP Part 1 for each phase of the project. The CWMP shall list the types and weights of solid waste materials expected to be generated from construction. The CWMP shall include options to divert waste materials from landfill disposal, materials for reuse or recycling by a minimum of 65% of total weight or volume. More information can be found on the San Bernardino County Solid Waste Management Division (SWMD) website at <https://dpw.sbcounty.gov/solid-waste-management/construction-waste-management/>. An approved CDWMP Part 1 is required before a permit can be issued. There is a one-time fee of \$150.00 for residential projects/\$530.00 for commercial/non-residential projects

PRIOR TO OCCUPANCY

Land Use Services - Planning

98 **GHG - Installation/Implementation Standards** - Status: Outstanding

The developer shall submit for review and obtain approval from County Planning of evidence that all applicable GHG performance standards have been installed, implemented properly and that specified performance objectives are being met to the satisfaction of County Planning and County Building and Safety. These installations/procedures include the following:

a) Design features and/or equipment that cumulatively increases the overall compliance of the project to exceed Title 24 minimum standards by five percent. b) All interior building lighting shall support the use of fluorescent light bulbs or equivalent energy-efficient lighting. c) Installation of both the identified mandatory and optional design features or equipment that have been constructed and incorporated into the facility/structure.

County Fire - Community Safety

99 **Inspection by the Fire Department** - Status: Outstanding

Permission to occupy or use the building (certificate of Occupancy or shell release) will not be granted until the Fire Department inspects, approves and signs off on the Building and Safety job card for "fire final".

County of San Bernardino Special Districts

100 **Streetlighting - Sphere** - Status: Outstanding

This project lies within the sphere area of County Service Area 70 Due to your projected use of the property, street lighting may be required. If required, annexation to the district will occur and the developer is requirement to provide the street lighting plans, plan check fees, and (3) three-year advanced energy charges for review and approval. Development plans are to be submitted to the Special Districts Department at 222 W. Hospitality Lane, 2nd Floor, San Bernardino, CA 92415-0450. For additional information on street light plans, please call Streetlighting Section at (909) 386-8821.

Land Use Services - Building and Safety

101 **Condition Compliance Release Form Sign-off** - Status: Outstanding

Prior to occupancy all Department/Division requirements and sign-offs shall be completed.

Land Use Services - Land Development

102 **Drainage Improvements** - Status: Outstanding

All required drainage improvements shall be completed by the applicant. The private Registered Civil Engineer (RCE) shall inspect improvements outside the County right-of-way and certify that these improvements have been completed according to the approved plans.

103 **WQMP Improvements** - Status: Outstanding

All required WQMP improvements shall be completed by the applicant and inspected/approved by the County Department of Public Works. An electronic file of the approved final WQMP shall be submitted to Land Development Division, Drainage Section.

104 **LDD Requirements** - Status: Outstanding

All LDD requirements shall be completed by the applicant prior to occupancy.

105 **Parkway Planting** - Status: Outstanding

Trees, irrigation systems, and landscaping required to be installed on public right-of-way shall be approved by the County Department of Public Works and Current Planning and shall be maintained by the adjacent property owner or other County-approved entity.

106 **Road Improvements** - Status: Outstanding

All required on-site and off-site improvements shall be completed by the applicant and inspected/approved by the County Department of Public Works.

107 **Structural Section Testing** - Status: Outstanding

A thorough evaluation of the structural road section, to also include parkway improvements, from a qualified materials engineer shall be submitted to the County Department of Public Works.

Public Works - Solid Waste Management

108 **Construction Waste Management Plan (CDWMP) Part 2** - Status: Outstanding

The developer shall complete SWMD's CDWMP Part 2 for construction and demolition. The CDWMP Part 2 shall provide evidence to the satisfaction of SWMD that demonstrates that the project has diverted from landfill disposal, material for reuse or recycling by a minimum of 65% of total weight or volume of all construction waste. The developer MUST provide ALL receipts and/or backup documentation for actual disposal/diversion of project waste. More information can be found on the San Bernardino County Solid Waste Management Division (SWMD) website at <https://dpw.sbcounty.gov/solid-waste-management/construction-waste-management/>.

Public Works - Traffic

109 **Improvements** - Status: Outstanding

The applicant shall construct, at 100% cost to the applicant all roadway improvements as shown on their approved street improvement plans. This shall include any software and/or hardware to implement the approved signal coordination plan.

110 **Improvements** - Status: Outstanding

The applicant shall construct, at 100% cost to the applicant all roadway improvements as shown on their approved street improvement plans. This shall include any software and/or hardware to implement the approved signal coordination plan.

PRIOR TO RECORDATION

County Fire - Community Safety

111 **Access** - Status: Outstanding

The development shall have a minimum of two points of vehicular access. These are for fire/emergency equipment access and for evacuation routes. a. Single Story Road Access Width. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. Other recognized standards may be more restrictive by requiring wider access provisions. b. Multi-Story Road Access Width. Buildings three (3) stories in height or more shall have a minimum access of thirty (30) feet unobstructed width and vertically to fourteen (14) feet six (6) inches in height.

PRIOR TO FINAL INSPECTION

County Fire - Community Safety

112 **Combustible Vegetation** - Status: Outstanding

Combustible vegetation shall be removed as follows: a. Where the average slope of the site is less than 15% - Combustible vegetation shall be removed a minimum distance of thirty (30) feet from all structures or to the property line, whichever is less. b. Where the average slope of the site is 15% or greater - Combustible vegetation shall be removed a minimum one hundred (100) feet from all structures or to the property line, whichever is less.

113 **Commercial Addressing** - Status: Outstanding

Commercial and industrial developments of 100,000 sq. ft or less shall have the street address installed on the building with numbers that are a minimum six (6) inches in height and with a three quarter (3/4) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated contrasting six (6) inch numbers shall be displayed at the property access entrances.

114 **Fire Alarm - Automatic** - Status: Outstanding

An automatic fire sprinkler monitoring fire alarm system complying with the California Fire Code, NFPA and all applicable codes is required. The applicant shall hire a Fire Department approved fire alarm contractor. The fire alarm contractor shall submit detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal.

115 **Fire Lanes** - Status: Outstanding

The applicant shall submit a fire lane plan to the Fire Department for review and approval. Fire lane curbs shall be painted red. The "No Parking, Fire Lane" signs shall be installed on public/private roads in accordance with the approved plan.

116 **Fire Sprinkler-NFPA #13** - Status: Outstanding

An automatic fire sprinkler system complying with NFPA Pamphlet #13 and the Fire Department standards is required. The applicant shall hire a Fire Department approved fire sprinkler contractor. The fire sprinkler contractor shall submit plans to the with hydraulic calculation and manufacturers specification sheets to the Fire Department for approval and approval. The contractor shall submit plans showing type of storage and use with the applicable protection system. The required fees shall be paid at the time of plan submittal.

117 **Hydrant Marking** - Status: Outstanding

Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. In areas where snow removal occurs or non-paved roads exist, the blue reflective hydrant marker shall be posted on an approved post along the side of the road, no more than three (3) feet from the hydrant and at least six (6) feet high above the adjacent road.

118 **Key Box** - Status: Outstanding

An approved Fire Department key box is required. In commercial, industrial and multi-family complexes, all swing gates shall have an approved fire department Knox Lock.

119 **Material Identification Placards** - Status: Outstanding

The applicant shall install Fire Department approved material identification placards on the outside of all buildings and/or storage tanks that store or plan to store hazardous or flammable materials in all locations deemed appropriate by the Fire Department. Additional placards shall be required inside the buildings when chemicals are segregated into separate areas. Any business with an N.F.P.A. 704 rating of 2-3-3 or above shall be required to install an approved key box vault on the premises, which shall contain business access keys and a business plan.

120 **Override Switch** - Status: Outstanding

Where an automatic electric security gate is used, an approved Fire Department override switch (Knox ®) is required.

121 **Roof Certification** - Status: Outstanding

A letter from a licensed structural (or truss) engineer shall be submitted with an original wet stamp at time of fire sprinkler plan review, verifying the roof is capable of accepting the point loads imposed on the building by the fire sprinkler system design.

122 **Street Sign** - Status: Outstanding

This project is required to have an approved street sign (temporary or permanent). The street sign shall be installed on the nearest street corner to the project. Installation of the temporary sign shall be prior any combustible material being placed on the construction site. Prior to final inspection and occupancy of the first structure, the permanent street sign shall be installed.

If you would like additional information regarding any of the conditions in this document, please contact the department responsible for applying the condition and be prepared to provide the Record number above for reference. Department contact information has been provided below.

| Department/Agency | Office/Division | Phone Number |
|---|---|----------------|
| Land Use Services Dept. | San Bernardino Govt. Center | (909) 387-8311 |
| (All Divisions) | High Desert Govt. Center | (760) 995-8140 |
| Web Site | https://lus.sbcounty.gov/ | |
| County Fire | San Bernardino Govt. Center | (909) 387-8400 |
| (Community Safety) | High Desert Govt. Center | (760) 995-8190 |
| Web Site | https://www.sbcfire.org/ | |
| County Fire | Hazardous Materials | (909) 386-8401 |
| | Flood Control | (909) 387-7995 |
| Dept. of Public Works | Solid Waste Management | (909) 386-8701 |
| | Surveyor | (909) 387-8149 |
| | Traffic | (909) 387-8186 |
| Web Site | https://dpw.sbcounty.gov/ | |
| Dept. of Public Health | Environmental Health Services | (800) 442-2283 |
| Web Site | https://dph.sbcounty.gov/programs/ehs/ | |
| Local Agency Formation Commission (LAFCO) | | (909) 388-0480 |
| Web Site | http://www.sbclafco.org/ | |
| | Water and Sanitation | (760) 955-9885 |
| | Administration, | |
| | Park and Recreation, | |
| Special Districts | Roads, Streetlights, | (909) 386-8800 |
| | Television Districts, and Other | |

APN: 0262021130000

Effective Date:

PROJ-2021-00066

Expiration Date:

External Agencies (Caltrans, U.S. Army, etc.)

See condition text for contact information...

EXHIBIT E

Initial Study / Mitigated Negative Declaration

[https://www.sbcounty.gov/uploads/LUS/Valley/Route 66 Truck Parking and Cargo Terminal/Final%20Signed%20Initial%20Study%20\(12.2.23\).pdf](https://www.sbcounty.gov/uploads/LUS/Valley/Route_66_Truck_Parking_and_Cargo_Terminal/Final%20Signed%20Initial%20Study%20(12.2.23).pdf)

EXHIBIT F

Mitigation Monitoring & Reporting Program (MMRP)

Mitigation Monitoring and Reporting Program
Initial Study/Mitigated Negative Declaration
Route 66 Truck Terminal Parking and Cargo Terminal Project

Prepared by:



County of San Bernardino, Land Use Services Department

385 N. Arrowhead Avenue, 1st Floor
San Bernardino, California 92415-0182
Contact: Azhar Khan, Senior Planner

FEBRUARY 2024

Table of Contents

| <u>SECTION</u> | <u>PAGE NO.</u> |
|--|-----------------|
| 1 INTRODUCTION | 1 |
| 2 MITIGATION MONITORING AND REPORTING PROGRAM TABLE..... | 3 |

INTENTIONALLY LEFT BLANK

1 Introduction

The California Environmental Quality Act (CEQA) requires that a public agency adopting a Mitigated Negative Declaration (MND) take affirmative steps to determine that approved mitigation measures are implemented after project approval. The lead or responsible agency must adopt a reporting and monitoring program for the mitigation measures incorporated into a project or included as conditions of approval. The program must be designed to ensure compliance with the MND during project implementation (California Public Resources Code, Section 21081.6(a)(1)).

This Mitigation Monitoring and Reporting Program (MMRP) will be used by the County of San Bernardino (County) to ensure compliance with adopted mitigation measures identified in the MND for the proposed Route 66 Truck and Cargo Terminal Project when construction begins. The County, as the lead agency, will be responsible for ensuring that all mitigation measures are carried out. Implementation of the mitigation measures would reduce impacts to below a level of significance for aesthetics, air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, noise, transportation, tribal cultural resources, utilities and service systems and wildfire.

The remainder of this MMRP consists of a table that identifies the mitigation measures by resource for each project component. Table 1 identifies the mitigation monitoring and reporting requirements, list of mitigation measures, party responsible for implementing mitigation measures, timing for implementation of mitigation measures, agency responsible for monitoring of implementation, and date of completion. With the MND and related documents, this MMRP will be kept on file at the following location:

County of San Bernardino
385 N. Arrowhead Avenue, First Floor
San Bernardino, California 92415

INTENTIONALLY LEFT BLANK

2 Mitigation Monitoring and Reporting Program Table

Table 1 Mitigation Monitoring and Reporting Program

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|--|---|---|----------------------------------|--------------------------|
| <i>Aesthetics</i> | | | | |
| AES-1: Potential glare. Prior to approval of the Final Design, an analysis of potential glare from sunlight or exterior lighting that may impact vehicles traveling on adjacent roadways shall be submitted to the County for review and approval. This analysis shall demonstrate that due to orientation and/or shielding of lighting, no significant glare may be caused that could negatively impact drivers on the adjacent right-of-way or impact adjacent land uses. If potential glare impacts are identified, the lighting orientation, use of non-glare reflective materials or other design solutions acceptable to the County of San Bernardino shall be implemented to eliminate glare impacts. | <p>Prior to Issuance of Building Permits A glare analysis shall be completed.</p> <p>In Construction Plans and Specifications.</p> | Project applicant and their construction contractor | County of San Bernardino | |
| <i>Air Quality</i> | | | | |
| AQ-1: Fugitive Dust Control. The following measures shall be incorporated into project plans and specifications for implementation during construction: <ul style="list-style-type: none"> • Apply soil stabilizers to inactive areas. • Prepare a high wind dust control plan and implement plan elements and terminate soil disturbance when winds exceed 25 mph. • Stabilize previously disturbed areas if subsequent construction is delayed. • Apply water to disturbed surfaces and haul roads 3 times/day. • Replace ground cover in disturbed areas quickly. • Reduce speeds on unpaved roads to less than 15 mph. • Trenches shall be left exposed for as short a time as possible. | <p>Prior to Land Disturbance or Grading Permit</p> <p>Prior to Issuance of Building Permit</p> | Project applicant and their construction contractor | County of San Bernardino | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|--|--|---|---|--------------------------|
| <ul style="list-style-type: none"> Identify proper compaction for backfilled soils in construction specifications. <p>This measure shall be implemented during construction, and shall be included in the construction contract as a contract specification</p> | | | | |
| <p>AQ-2: Exhaust Emissions Control. The following measures shall be incorporated into Project plans and specifications for implementation:</p> <ul style="list-style-type: none"> Utilize off-road construction equipment that has met or exceeded the maker's recommendations for vehicle/equipment maintenance schedule. Contactors shall utilize Tier 4 or better heavy equipment. Enforce 5-minute idling limits for both on-road trucks and off-road equipment. | <p>Prior to Land Disturbance or Grading Permit</p> <p>Prior to Issuance of Building Permit</p> | Project applicant and their construction contractor | County of San Bernardino | |
| <p>AQ-3: Solar energy. Maximize the use of solar energy including solar panels by installing the maximum possible number of solar energy arrays on the building roofs and/or on the Proposed Project site to generate solar energy for the facility.</p> | <p>Prior to Issuance of Building Permit</p> <p>In Construction Plans and Specifications.</p> | Project applicant and their construction contractor | County of San Bernardino | |
| <p>AQ-4: Electric Landscaping Equipment. Require the use of electric landscaping equipment, such as lawn mowers and leaf blowers.</p> | On-going. | Tenant/Property Owner | County of San Bernardino Code Enforcement Division. | |
| <p>AQ-5: HEPA filters. Require use of electric or alternatively fueled sweepers with HEPA filters.</p> | On-going. | Tenant/Property Owner | County of San Bernardino Code Enforcement Division. | |
| <p>AQ-6: Planting of Trees. Maximize the planting of trees in landscaping and parking lots consistent with water availability.</p> | <p>Prior to Issuance of Building Permits.</p> <p>In Construction Plans and Specifications.</p> | Project applicant and their construction contractor | County of San Bernardino | |
| <p>AQ-7: Roofing Materials. Use light colored paving and roofing materials.</p> | Prior to Issuance of Building Permits. | Project applicant and their construction contractor | County of San Bernardino | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|--|---|---|--------------------------|
| | In Construction Plans and Specifications. | | | |
| AQ-8: Energy Star. Utilize only Energy Star heating, cooling, lighting devices, and appliances, where applicable. | Prior to Issuance of Building Permits. In Construction Plans and Specifications. | Project applicant and their construction contractor | County of San Bernardino | |
| Biological Resources | | | | |
| BIO-1: Nesting bird surveys. Nesting bird surveys shall be conducted by a qualified avian biologist no more than three (3) days prior to vegetation clearing or ground disturbance activities. Preconstruction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior. The qualified avian biologist will make every effort to avoid potential nest predation as a result of survey and monitoring efforts. If active nests are found during the preconstruction nesting bird surveys, a Nesting Bird Plan (NBP) shall be prepared and implemented by the qualified avian biologist. At a minimum, the NBP shall include guidelines for addressing active nests, establishing buffers, ongoing monitoring, establishment of avoidance and minimization measures, and reporting. The size and location of all buffer zones, if required, shall be based on the nesting species, individual/pair's behavior, nesting stage, nest location, its sensitivity to disturbance, and intensity and duration of the disturbance activity. To avoid impacts to nesting birds, any grubbing or vegetation removal should occur outside peak breeding season (typically February 1 through September 1). | Prior to issuance of Land Disturbance or Grading Permit This measure shall be implemented prior or during to initiation of construction depending on the specifications of the measure. Any mitigation measures that are identified shall be implemented in the time frame specified by the qualified biologist. | Project applicant and their construction contractor – Survey to be completed by a Qualified Biologist | County of San Bernardino | |
| Cultural Resources | | | | |
| CUL-1: Inadvertent Discoveries. Should any cultural resources be encountered during construction of these facilities, earthmoving or grading activities in the immediate area of the finds shall be halted and | During construction | Project applicant and their construction contractor | County of San Bernardino and Project Applicant/Contractor | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|--|---|---|---|--------------------------|
| an onsite inspection shall be performed immediately by a qualified archaeologist. Responsibility for making this determination shall be with the County. The archaeological professional shall assess the find, determine its significance, and make recommendations for appropriate mitigation measures within the guidelines of the California Environmental Quality Act. | | | | |
| Geology and Soils | | | | |
| GEO-1: Stored backfill material shall be covered with water resistant material during periods of heavy precipitation to reduce the potential for rainfall erosion of stored backfill material. Where covering is not possible, measures such as the use of straw bales or sand bags shall be used to capture and hold eroded material on the project site for future cleanup such that erosion does not occur. | On-going | Project applicant and their construction contractor | County of San Bernardino | |
| GEO-2: All exposed, disturbed soil (trenches, stored backfill, etc.) shall be sprayed with water or soil binders twice a day, or more frequently if fugitive dust is observed migrating from the site within which the project is being constructed. | On-going | Project applicant and their construction contractor | County of San Bernardino | |
| GEO-3: Based upon the geotechnical investigation (Appendix 4a of this document), all of the recommended design and construction measures identified in Appendix 4a (listed on Pages 8-9, and 10-21) shall be implemented by the Applicant. Implementation of these specific measures will address all of the identified geotechnical constraints identified at project site, including soil stability on future project-related structures. | Prior to Issuance of Building Permits. The design measures shall be incorporated into final site and building design and implement during construction. | Project applicant and their construction contractor | County of San Bernardino | |
| GEO-5: The Applicant shall retain the services of a Qualified Paleontologist meeting the standards of SVP (2010). The Qualified Paleontologist shall determine the depth at which the transition to high sensitivity occurs and monitoring becomes necessary, by taking into account: a) the most recent local geologic | During construction The monitor shall be retained for the duration of ground disturbing activities | Project applicant and their construction contractor | County of San Bernardino and Project Applicant/Contractor | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|---|---|----------------------------------|--------------------------|
| mapping, b) depths at which fossils have been found in the vicinity of the project area, as revealed by the museum records search, and c) geotechnical studies of the project area, if available. Should the project require excavation that will exceed the depth of low sensitivity surficial sediments as determined by a Qualified Paleontologist, a project-specific paleontological resources monitoring and mitigation plan (PRMMP) shall be developed and adhered to for the duration of ground disturbance activities during construction or as otherwise determined by the Qualified Paleontologist. This plan will address specifics of monitoring and mitigation for the development project, and will take into account updated geologic mapping, geotechnical data, updated paleontological records searches, and any changes to the regulatory framework. This PRMMP shall meet the standards of the SVP (2010). | as a contract specification and implemented by the contractor during construction. Any response to exposed resources shall occur during construction. Any reports documenting management and findings for accidentally exposed resources shall be completed within one year of the discovery, | | | |
| Hazards and Hazardous Materials | | | | |
| HAZ-1: All accidental spills or discharge of hazardous material during construction activities shall be reported to the Certified Unified Program Agency and shall be remediated in compliance with applicable state and local regulations regarding cleanup and disposal of the contaminant released. The contaminated waste will be collected and disposed of at an appropriately a licensed disposal or treatment facility. This measure shall be incorporated into the SWPPP prepared for the proposed project. Prior to accepting the site as remediated, the area contaminated shall be tested to verify that any residual concentrations meet the standard for future residential or public use of the site. | Prior to issuance of Land Disturbance or Grading Permit These measures shall be identified in the project Stormwater Pollution Prevention Plan (SWPPP) and implemented during construction. | Project applicant and their construction contractor | County of San Bernardino | |
| Hydrology | | | | |
| HYD-1: The project proponent will select best management practices from the range of practices identified by the County and reduce future non-point source pollution in surface water runoff discharges from the site to the maximum extent practicable, both | Prior to issuance of Land Disturbance or Grading Permit | Project applicant and their construction contractor | County of San Bernardino | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|--|---|----------------------------------|--------------------------|
| during construction and following development. The Storm Water Pollution Prevention Plan (SWPPP) and Water Quality Management Plan (WQMP) shall be submitted to the County for review and approval prior to ground disturbance and the identified BMPs installed in accordance with schedules contained in these documents. | | | | |
| Noise | | | | |
| NOI-1: All construction vehicles and fixed or mobile equipment shall be equipped with operating and maintained mufflers. | During construction This measure shall be implemented during construction and included in the contract with the construction contractor. | Project applicant and their construction contractor | County of San Bernardino | |
| NOI-2: All employees that will be exposed to noise levels greater than 75 dB over an 8 hour period shall be provided adequate hearing protection devices to ensure no hearing damage will result from construction activities. | During construction This measure shall be implemented during construction and included in the contract with the construction contractor. | Project applicant and their construction contractor | County of San Bernardino | |
| NOI-3: No construction activities shall occur during the hours of 7 PM through 7 AM, Monday through Saturday; at no time shall construction activities occur on Sundays or holidays, unless a declared emergency exists. | During construction This measure shall be implemented during construction and included in the contract with the construction contractor. | Project applicant and their construction contractor | County of San Bernardino | |
| NOI-4: Equipment not in use for five minutes shall be shut off. | During construction | Project applicant and their construction contractor | County of San Bernardino | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|--|--|---|----------------------------------|--------------------------|
| | This measure shall be implemented during construction and included in the contract with the construction contractor. | | | |
| NOI-5: Equipment shall be maintained and operated such that loads are secured from rattling or banging. | During construction This measure shall be implemented during construction and included in the contract with the construction contractor. | Project applicant and their construction contractor | County of San Bernardino | |
| NOI-6: Construction employees shall be trained in the proper operation and use of equipment consistent with these mitigation measures, including no unnecessary revving of equipment. | During construction This measure shall be implemented during construction and included in the contract with the construction contractor. | Project applicant and their construction contractor | County of San Bernardino | |
| NOI-7: The Applicant shall require that all construction equipment be operated with mandated noise control equipment (mufflers or silencers). Enforcement will be accomplished by random field inspections by the County. | During construction This measure shall be implemented during construction and included in the contract with the construction contractor. | Project applicant and their construction contractor | County of San Bernardino | |
| NOI-8: Construction staging areas shall be located as far from adjacent sensitive receptor locations as possible, for example toward the western boundary of the site. | During construction This measure shall be implemented | Project applicant and their construction contractor | County of San Bernardino | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|---|---|----------------------------------|--------------------------|
| | during construction and included in the contract with the construction contractor. | | | |
| NOI-9: The truck access gates, scattered parking lot spaces, and loading docks on the Project site shall be posted with signs which state: <ul style="list-style-type: none"> Truck drivers shall turn off engines when not in use; Diesel trucks servicing the Project shall not idle for more than five (5) minutes; and Post telephone numbers of the building facilities manager to report idling violations. | On-going This measure shall be implemented during operation, and shall be in place for the entire duration of operation. | Building Operator | County of San Bernardino | |
| NOI-10: The Applicant shall maintain quality pavement conditions on the property that are free of vertical deflection (i.e. speed bumps) to minimize truck noise. | On-going This measure shall be implemented during operation, and shall be in place for the entire duration of operation. | Building Operator | County of San Bernardino | |
| Transportation | | | | |
| TRAN-1: The County shall mandate that the Applicant require their contractors prepare a construction traffic control plan. Elements of the plan should include, but are not necessarily limited to, the following: <ul style="list-style-type: none"> Develop circulation and detour plans, if necessary, to minimize impacts to local street circulation. Use haul routes minimizing truck traffic on local roadways to the extent possible. To the extent feasible, and as needed to avoid adverse impacts on traffic flow, schedule truck trips outside of peak morning and evening commute hours. Install traffic control devices as specified in Caltrans' Manual of Traffic Controls for Construction and | Prior to Issuance of Building Permits. The Construction Traffic Management Plan shall be compiled and approved prior to the initiation of construction. | Project applicant and their construction contractor | County of San Bernardino | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|--|--|--|----------------------------------|--------------------------|
| <p>Maintenance Work Zones where needed to maintain safe driving conditions. Use flaggers and/or signage to safely direct traffic through construction work zones.</p> <ul style="list-style-type: none"> For roadways requiring lane closures that would result in a single open lane, maintain alternate one way traffic flow and utilize flagger-controls. Coordinate with facility owners or administrators of sensitive land uses such as police and fire stations, hospitals, and schools. Provide advance notification to the facility owner or operator of the timing, location, and duration of construction activities. | | | | |
| <p>TRAN-2: The County shall require that all disturbances to public roadways be repaired in a manner that complies with the Standard Specifications for Public Works Construction (green book) or other applicable County of San Bernardino standard design requirements.</p> | <p>Prior to Final</p> <p>This measure shall be implemented during construction and included in the contract with the construction contractor.</p> | <p>Project applicant and their construction contractor</p> | <p>County of San Bernardino</p> | |
| <i>Tribal Cultural Resources</i> | | | | |
| <p>TCR-1: Retain a Native American Monitor Prior to Commencement of Ground-Disturbing Activities</p> <p>A. The project applicant/lead agency shall retain a Native American Monitor from or approved by the Gabrieleño Band of Mission Indians – Kizh Nation. The monitor shall be retained prior to the commencement of any “ground-disturbing activity” for the subject project at all project locations (i.e., both on-site and any off-site locations that are included in the project description/definition and/or required in connection with the project, such as public improvement work). “Ground-disturbing activity” shall include, but is not limited to, demolition, pavement removal, potholing, auguring, grubbing,</p> | <p>Prior to issuance of Land Disturbance or Grading Permit</p> <p>This measure shall be implemented during construction and followed through until final disposition of such resources has been achieved.</p> | <p>Project applicant and their construction contractor</p> | <p>County of San Bernardino</p> | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|-----------------------|--------------------------------------|----------------------------------|--------------------------|
| <p>tree removal, boring, grading, excavation, drilling, and trenching.</p> <p>B. A copy of the executed monitoring agreement shall be submitted to the Lead Agency prior to the earlier of the commencement of any ground-disturbing activity, or the issuance of any permit necessary to commence a ground-disturbing activity.</p> <p>C. The monitor will complete daily monitoring logs that will provide descriptions of the relevant ground-disturbing activities, the type of construction activities performed, locations of ground- disturbing activities, soil types, cultural-related materials, and any other facts, conditions, materials, or discoveries of significance to the Tribe. Monitor logs will identify and describe any discovered TCRs, including but not limited to, Native American cultural and historical artifacts, remains, places of significance, etc., (collectively, tribal cultural resources, or “TCR”), as well as any discovered Native American (ancestral) human remains and burial goods. Copies of monitor logs will be provided to the project applicant/lead agency upon written request to the Tribe.</p> <p>D. On-site tribal monitoring shall conclude upon the latter of the following (1) written confirmation to the Kizh from a designated point of contact for The project applicant/lead agency that all ground-disturbing activities and phases that may involve ground-disturbing activities on the project site or in connection with the project are complete; or (2) a determination and written notification by the Kizh to The project applicant/lead agency that no future, planned construction activity and/or development/construction phase at the project site possesses the potential to impact Kizh TCRs.</p> <p>E. Upon discovery of any TCRs, all construction activities in the immediate vicinity of the discovery</p> | | | | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|--|---|---|----------------------------------|--------------------------|
| shall cease (i.e., not less than the surrounding 50 feet) and shall not resume until the discovered TCR has been fully assessed by the Kizh monitor and/or Kizh archaeologist. The Kizh will recover and retain all discovered TCRs in the form and/or manner the Tribe deems appropriate, in the including for educational, cultural and/or historic purposes. | | | | |
| TCR-2: Unanticipated Discovery of Tribal Cultural Resource Objects A. Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in Public Resources Code Section 5097.98, are also to be treated according to this statute. B. If Native American human remains and/or grave goods discovered or recognized on the project site, then all construction activities shall immediately cease. Health and Safety Code Section 7050.5 dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and all ground-disturbing activities shall immediately halt and shall remain halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe they are Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission, and Public Resources Code Section 5097.98 shall be followed. C. Human remains and grave/burial goods shall be treated alike per California Public Resources Code section 5097.98(d)(1) and (2). | During Construction This measure shall be implemented during construction and followed through until final disposition of such resources has been achieved. | Project applicant and their construction contractor | County of San Bernardino | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|--|--|----------------------------------|--------------------------|
| <p>D. Construction activities may resume in other parts of the project site at a minimum of 200 feet away from discovered human remains and/or burial goods, if the Kizh determines in its sole discretion that resuming construction activities at that distance is acceptable and provides the project manager express consent of that determination (along with any other mitigation measures the Kizh monitor and/or archaeologist deems necessary). (CEQA Guidelines Section 15064.5(f).)</p> <p>E. Preservation in place (i.e., avoidance) is the preferred manner of treatment for discovered human remains and/or burial goods. Any historic archaeological material that is not Native American in origin (non-TCR) shall be curated at a public, non-profit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County or the Fowler Museum, if such an institution agrees to accept the material. If no institution accepts the archaeological material, it shall be offered to a local school or historical society in the area for educational purposes.</p> <p>F. Any discovery of human remains/burial goods shall be kept confidential to prevent further disturbance.</p> | | | | |
| <p>TCR-3: Procedures for Burials and Funerary Remains:</p> <p>A. As the Most Likely Descendant (MLD), the Koonas-gna Burial Policy shall be implemented. To the Tribe, the term “human remains” encompasses more than human bones. In ancient times, as well as historic times, Tribal Traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains.</p> <p>B. If the discovery of human remains includes four or more burials, the discovery location shall be</p> | <p>During Construction</p> <p>This measure shall be implemented during construction and followed through until final disposition of such resources has been achieved.</p> | <p>Project applicant and their construction contractor</p> | | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|-----------------------|--------------------------------------|----------------------------------|--------------------------|
| <p>treated as a cemetery and a separate treatment plan shall be created.</p> <p>C. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects. Cremations will either be removed in bulk or by means as necessary to ensure complete recovery of all sacred materials.</p> <p>D. In the case where discovered human remains cannot be fully documented and recovered on the same day, the remains will be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard should be posted outside of working hours. The Tribe will make every effort to recommend diverting the project and keeping the remains in situ and protected. If the project cannot be diverted, it may be determined that burials will be removed.</p> <p>E. In the event preservation in place is not possible despite good faith efforts by the project applicant/developer and/or landowner, before ground-disturbing activities may resume on the project site, the landowner shall arrange a designated site location within the footprint of the project for the respectful reburial of the human remains and/or ceremonial objects.</p> <p>F. Each occurrence of human remains and associated funerary objects will be stored using opaque cloth bags. All human remains, funerary</p> | | | | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|---|--|----------------------------------|--------------------------|
| <p>objects, sacred objects and objects of cultural patrimony will be removed to a secure container on site if possible. These items should be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the project site but at a location agreed upon between the Tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.</p> <p>G. The Tribe will work closely with the project's qualified archaeologist to ensure that the excavation is treated carefully, ethically and respectfully. If data recovery is approved by the Tribe, documentation shall be prepared and shall include (at a minimum) detailed descriptive notes and sketches. All data recovery data recovery-related forms of documentation shall be approved in advance by the Tribe. If any data recovery is performed, once complete, a final report shall be submitted to the Tribe and the NAHC. The Tribe does NOT authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains.</p> | | | | |
| Utilities and Service Systems | | | | |
| <p>UTL-1: If recycled water becomes available at the project site, the Applicant shall connect to this system and utilize recycled water for landscape irrigation and for field irrigation, and any other feasible uses of recycled water on the project site.</p> | <p>On-going</p> <p>This measure shall be included in the project design and shall be implemented once operational.</p> | <p>Project applicant and their construction contractor</p> | <p>County of San Bernardino</p> | |
| Wildfire | | | | |
| <p>WF-1: During site clearing within the project site when any electrical construction equipment is in use, the construction crew shall have fire prevention equipment (such as fire extinguishers, emergency sand bags, etc.)</p> | <p>During Construction</p> <p>This measure shall be implemented during construction</p> | <p>Project applicant and their construction contractor</p> | <p>County of San Bernardino</p> | |

| Mitigation Measure | Implementation Timing | Party Responsible for Implementation | Party Responsible For Monitoring | Date of Completion/Notes |
|---|--|--------------------------------------|----------------------------------|--------------------------|
| to put out any accidental fires that could occur from the use of electrical construction/maintenance equipment. | and included in the contract with the construction contractor. | | | |

EXHIBIT G

Comments- Comment Letters the San
Bernardino County Flood Control District



Department of Public Works

- Flood Control
- Operations
- Solid Waste Management
- Special Districts
- Surveyor
- Transportation

www.SBCounty.gov

Brendon Biggs, M.S., P.E.
Director

Noel Castillo, P.E.
Assistant Director

David Doublet, M.S., P.E.
Assistant Director

December 20, 2023

Transmitted Via Email

File: 10(ENV)-4.01

Land Use Services Department
385 N. Arrowhead Avenue
San Bernardino, CA 92415
Attn: Azhar Khan, Senior Planner
azhar.khan@lus.sbcounty.gov

RE: CEQA PROJECT REVIEW – PROJ-2021-00066; NOTICE OF AVAILABILITY (NOA) AND NOTICE OF INTENT (NOI) TO ADOPT AN INITIAL STUDY/MITIGATED NEGATIVE DECLARATION FOR A CONDITIONAL USE PERMIT FOR A PHASED DEVELOPMENT TO CONSTRUCT A TRUCK TERMINAL WITH A 28,680-SQUARE-FOOT CARGO TERMINAL IN THE UNINCORPORATED CITY OF SAN BERNARDINO; APN 0262-021-09 AND 0262-021-13.

Dear Mr. Khan:

Thank you for allowing the San Bernardino County Department of Public Works the opportunity to comment on the above-referenced project. **We received this request on December 6, 2023** and pursuant to our review, the following comments are provided:

Flood Control Permits Division (Johnny Gayman, Chief, 909-387-1863):

1. The proposed Project site is located adjacent to the County Maintained Road System (CMRS) of Cajon Boulevard which may require the applicant to file for a permit with the Permits Division. Any encroachments on the San Bernardino County Flood Control District's (SBCFCD) road right-of-way or facilities, including but not limited to access, fencing and grading, utility crossings, landscaping, new and/or alteration to drainage connections will require a permit from the SBCFCD prior to start of construction. The necessity for permits, and any impacts associated with them, should be addressed in the environmental documents prior to adoption and certification. If you have any questions regarding this process, please contact the SBCFCD Permits Division at (909) 387-1863.

Flood Control Planning Division (Michael Fam, Chief, 909-387-8120):

1. We are aware there may be storm drains in and around the Project site that may be affected by the proposed Project. When planning for or altering existing or future storm drains, be advised that the Project is subject to the Comprehensive Storm Drain Plan No. 7, dated December 1982. It is to be used as a guideline for drainage in the area and is available in the San Bernardino County Department of Public Works, Flood Control Planning Division offices. Any revision to the drainage should be reviewed and approved by the jurisdictional agency (i.e., City or County).

BOARD OF SUPERVISORS

COL. PAUL COOK (RET.)
Vice Chairman, First District

JESSE ARMENDAREZ
Second District

DAWN ROWE
Chair, Third District

CURT HAGMAN
Fourth District

JOE BACA, JR.
Fifth District

Luther Snoke
Chief Executive Officer

We respectfully request to be included on the circulation list for all project notices, public reviews, or public hearings. In closing, I would like to thank you again for allowing the San Bernardino County Department of Public Works the opportunity to comment on the above-referenced project. Should you have any questions or need additional clarification, please contact the individuals who provided the specific comment, as listed above.

Sincerely,

Nancy Sansonetti

Nancy J. Sansonetti, AICP

Supervising Planner-Capital Improvement Section

Environmental Management Division

EXHIBIT H

Responses to Comments

TOM DODSON & ASSOCIATES

PHYSICAL ADDRESS: 2150 N. ARROWHEAD AVENUE SAN BERNARDINO, CA 92405

MAILING ADDRESS: PO BOX 2307, SAN BERNARDINO, CA 92406

TEL (909) 882-3612 • FAX (909) 882-7015

E-MAIL TDA@TDAENV.COM



MEMORANDUM

January 11, 2024

From: Kaitlyn Dodson-Hamilton

To: Mr. Azhar Khan

Subj: Completion of the Mitigated Negative Declaration for the Route 66 Truck Parking and Cargo Terminal Project (SCH No. 2022090657)

The County of San Bernardino (County) received 1 written comment letters on the proposed Mitigated Negative Declaration for the Route 66 Truck Parking and Cargo Terminal Project. CEQA requires a Negative Declaration to consist of the Initial Study; copies of the comments; any responses to comments as compiled on the following pages; and any other Project-related material prepared to address issues evaluated in the Initial Study.

For this Project, the original Initial Study will be utilized as one component of the Final Mitigated Negative Declaration (MND) package. The attached responses to comments, combined with the Initial Study and the Mitigation Monitoring and Reporting Program, constitute the Final MND package that will be used by the County to consider the environmental effects of implementing the proposed Project.

The following Agency submitted comments. The comments in this letter are addressed in the attached Responses to Comments:

1. San Bernardino County Department of Public Works

Because mitigation measures are required for this Project to reduce potentially significant impacts to a less than significant level, the Mitigation Monitoring and Reporting Program (MMRP) attached to this package is required to be adopted as part of this Final MND package. The MMRP has been incorporated by reference to this package for approval and implementation. The County consideration of the proposed Project and adoption of the Mitigated Negative Declaration will occur at a hearing on **MONTH DATE, 2024**.

Do not hesitate to give me a call if you have any questions regarding the contents of this package.

A handwritten signature in black ink. The signature is stylized and appears to read 'Kaitlyn Dodson-Hamilton'. It is written in a cursive, flowing style.

Kaitlyn Dodson-Hamilton
Attachments

**RESPONSE TO COMMENT
LETTER #1
SAN BERNARDINO COUNTY DEPARTMENT OF PUBLIC WORKS**

- 1-1 Your comment is noted and will be made available to the County decision-makers for consideration prior to a decision on the proposed Project.
- 1-2 Your comment is noted and will be made available to the County decision-makers for consideration prior to a decision on the proposed project. The County was listed as one of the agencies from which the Project may require future permits. The Developer will apply for the appropriate permits from the County Department of Public Works, if determined necessary. The Permits Division contact information provided in this comment will be retained in the Project file.
- 1-3 Your comment is noted and will be made available to the County decision-makers for consideration prior to a decision on the proposed Project.

- 1-4 Your comment is noted and will be made available to the County for consideration prior to a decision on the proposed Project. The San Bernardino County Department of Public Works will be included on the circulation list for future notices on this Project, and will be sent all future public documentation on the Project.