

## **EXHIBIT B**

**Preliminary/Final Development Plan Report  
(Hard copy provided)**

# **Pipeline Avenue Residential Development (Tentative Tract Map 18902)**

## **Preliminary/Final Development Plan Report**

**San Bernardino County  
City of Chino, Sphere of Influence, California**



**Prepared for:**

San Bernardino County  
385 North Arrowhead Avenue  
San Bernardino, CA 92415

**Prepared by:**

D33 Design & Planning, Inc.  
31866 Camino Capistrano  
San Juan Capistrano, CA 92675  
Contact: Elisha Nakada  
Phone: (949) 355-4017  
Fax: (949) 544-0427

**February 2014**



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Prepared for:  
San Bernardino County  
385 North Arrowhead Avenue  
San Bernardino, CA 92415

Applicant:  
Coastal Commercial Properties  
503 North Pacific Coast Hwy, Suite C  
Solana Beach, CA 92075  
Contact: Brett Crowder  
(949) 632-3122

Prepared by:  
D33 Design & Planning, Inc.  
31866 Camino Capistrano  
San Juan Capistrano, CA 92675  
Contact: Dave Maldonado  
Phone: (949) 230-4537  
Fax: (949) 544-0427

Consultant Team:  
MDS Consulting  
Frank Radmacher Associates, Inc.

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# Plan Overview

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## 1.1 INTRODUCTION

The Pipeline Avenue Residential Development is a 6.86 acre single family detached development.

The proposed 36 single-family lot project shall be consistent with the existing neighborhoods surrounding the site and shall create a high quality environment. The future development shall be consistent with the City of Chino regulations for land use, infrastructure, utilities, and public services; and construction shall be consistent with the current California Building Code (CBC).

## 1.2 PROJECT CONTEXT

The project site consists of three separate parcels; Assessor's Parcel Numbers 1016-521-03-0-0000, 1016-521-04-0-0000 and 1016-521-05-0-0000, for a total 6.86 acres combined. The site is located within San Bernardino County within the City of Chino, Sphere of Influence with a preannexation zone of RD8 and a County of San Bernardino zone of RS-20M. The RD8 designation allows 4.5 to 8.0 dwelling units per adjusted gross acre. Pipeline Avenue Residential Development has a proposed density of 5.24 units per acre, with an average lot size of 5,569 square feet. The RD8 classification is intended for new and existing single-family neighborhoods with slightly higher densities. This designation is mainly located in the older existing neighborhoods and in transition zones between lower-density residential uses and higher-density commercial, industrial and multi-family residential land uses. The project site shall be rezoned to Planned Development (PD) within the County to accommodate the 4,500 square foot lot minimum. See Exhibit 1 for Existing Site Photos.

## 1.3 PROJECT LOCATION

The project is located in the northwestern portion of the City of Chino; specifically at 12730, 12740 and 12756 Pipeline Avenue. See Exhibits 2 through 5 for project location, City of Chino Land Use/General Plan designation and Zoning information.



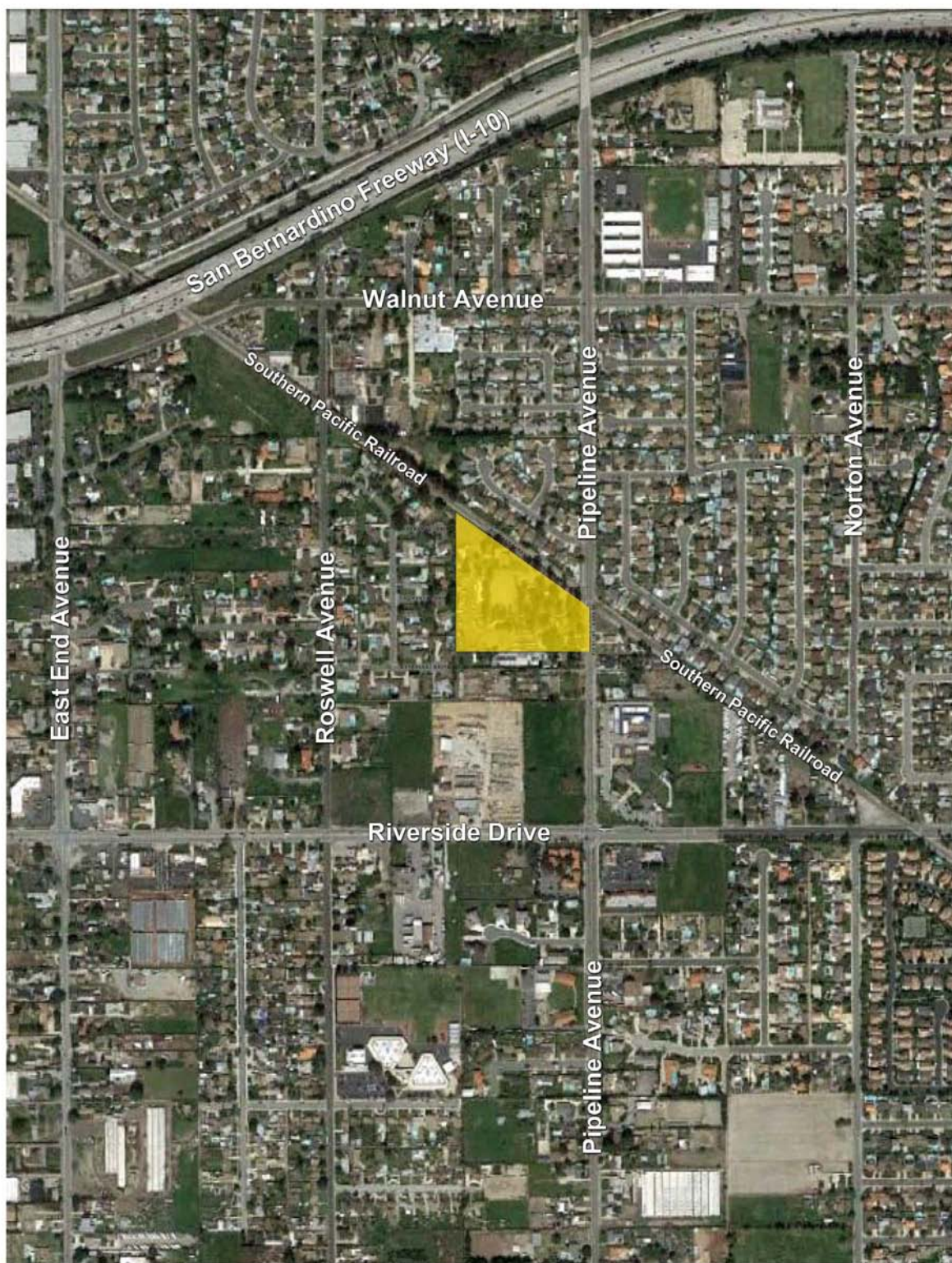
# Existing Site Photos



EXHIBIT - 1



# Vicinity Map



## EXHIBIT - 2

## Pipeline Avenue Residential Development

### I. Plan Overview

Preliminary Development Plan Report  
February 2014



# Aerial Map



## EXHIBIT - 3

## Pipeline Avenue Residential Development

### I. Plan Overview

Preliminary Development Plan Report  
February 2014



# General Plan Consistency

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## 2.1 CONSISTENCY WITH THE GENERAL PLAN

As required by state law, this section provides an assessment of consistency with the goals and objectives of the current County of San Bernardino General Plan. The framework for this assessment is the list of the County's goals and objectives drawn from the Land Use, Housing, Conservation, Open Space, Noise and Safety Elements where applicable. The goals and objectives are presented below along with the proposed community's conformance to these goals and objectives.

The Pipeline Avenue Residential Development shall serve to implement the following General Plan Goals:

## 2.2 LAND USE

*Land Use Element - Goal 1: "The County will have a compatible and harmonious arrangement of land uses by providing a type and mix of functionally well-integrated land uses that are fiscally viable and meet general social economic needs of the residents."*

Policies (LU 1.2):

The design and siting of new development will meet locational and development standards to ensure compatibility of the new development with adjacent land uses and community character.

The Pipeline Avenue Residential Development shall implement this goal by providing single-family detached housing within the City of Chino's RD8 classification allowing up to 8.0 dwelling units to the acre. The site shall be compatible with the surrounding neighboring and future land uses.

*Land Use Element - Goal 2: "Residential land uses will be provided in a range of styles, densities, and affordability and in a variety of areas to live, ranging from traditional urban neighborhoods to more rural neighborhoods."*

Policies (LU 2.1):

Promote varied approaches to residential development to foster a variety of housing types and densities and more efficient use of land.

The Pipeline Avenue Residential Development shall implement this goal by rezoning the site from RS-20M to Planned Development to accommodate the minimum 4,500 square foot lots (50' x 90') to allow 36 dwelling units within the neighborhood. Refer to Exhibit 7 for the Residential Development Standards. The development shall also have a private neighborhood park with a tot lot area for its residents.

## 2.3 HOUSING

Housing Element - Goal 2: *“Because innovative housing design and construction techniques and energy conservation may reduce the cost of housing without sacrificing quality, action programs will be implemented or pursued.”*

Policies (H 2.1):

Continue to utilize planned development density bonus and density transfer provisions as described in the County Development Code to allow creation of lot sizes less than that normally required by residential land use zoning districts.

The Pipeline Avenue Residential Development shall implement this goal by rezoning the site from RS-20M to Planned Development to accommodate the minimum 4,500 square foot lots (50' x 90') to allow 36 dwelling units within the neighborhood. See Exhibit 14 for Tentative Tract Map.

## 2.4 PUBLIC SERVICES

The proposed development shall utilize the following Public Services and Utilities:

A. Fire: The Chino Valley Independent Fire District (CVIFD) provides contracted fire service to the County of San Bernardino for the project site.

B. Police: The Chino Police Department shall be responsible for public safety and general law enforcement within the city. The Department is organized into operational and support functions that provide efficient emergency responses, pro-active enforcement, follow-up investigations of crimes and accidents, apprehension of criminals and preparation for criminal prosecutions, recovery of stolen property, and the prevention of crime through crime prevention efforts in partnerships with the citizens of the community.

C. Schools: Schools services shall be provided by the Chino Valley Unified School District (CVUSD). The following schools will serve the project: Newman Elementary School, Ramona Junior High School and Don Antonio Lugo High School. The project shall pay impact school fees to CVUSD.

D. Electricity: Southern California Edison (SCE) shall provide electric service to the project area and shall extend service to the project in accordance with rules and policies for extension of service on file with the California Public Utilities Commission.

E. Natural Gas: The Southern California Gas Company shall provide natural gas service to the project at the time contractual arrangements are made in accordance with Gas Company policies and extension rules and policies for extension of service on file with the California Public Utilities Commission.

F. Telephone Service: Verizon provides telephone service to the project area and shall extend service to the project in accordance with extension rules and policies for extension of service on file with the California Public Utilities Commission.

G. Cable TV: Time Warner Cable provides cable service within the County of San Bernardino and shall provide service at the time contractual arrangements are made.

H. Internet Access: Time Warner Cable offers Internet service within the County of San Bernardino and shall provide service at the time contractual arrangements are made.

I. Solid Waste: Waste Management shall provide solid waste collection service for the project. The resident trash bins shall be wheeled out to the curb or driveway apron on trash collection day.

J. Water and sewer shall be provided by the City of Chino.

## 2.5 CIRCULATION

The streets within the Pipeline Avenue Residential Development shall be public and designed and constructed in accordance with County standards. On-street parking is available within the proposed project in addition to the two car garages and two car residential driveways. DKS prepared a Traffic Impact Analysis for the project on May, 23 2013. Their findings state: "Given that the internal circulation and access have been designed to meet the County's standards (i.e., street ROW, curb-to-curb width, turn radii, etc.), no impacts to circulation or emergency vehicles is anticipated." In the Summary and Conclusion section, the DKS analysis further states: "Based on the results of the 2015 Opening Year plus Project analysis, the project is not anticipated to have significant traffic impacts at the intersection of the project access and Pipeline Ave. The proposed project would allow for adequate vehicular circulation for public and emergency vehicles." See Exhibit 14 for Tentative Tract Map.

The Union Pacific Railroad (formerly the Southern Pacific Railroad) runs along the northern boundary of the Pipeline Avenue Residential Development site.

## 2.6 CONSERVATION AND OPEN SPACE

Open Space Element - Goal 1: *"The County will provide plentiful open spaces, local parks, and a wide variety of recreational amenities for all residents."*

Policies (OS 1.9):

Ensure that open space and recreational areas are both preserved and provided to contribute to the overall balance of land uses and quality of life.

The Pipeline Avenue Residential Development shall implement this goal by providing a private neighborhood park complete with an open lawn play area, picnic tables, BBQ area, fenced in tot lot and a large shade structure to enhance the quality of life within the community. See Exhibit 12 for details.

## 2.7 PRESERVATION OF NATURAL RESOURCES

Conservation Element - Goal 1: *"The County will maintain to the greatest extent possible natural resources that contribute to the quality of life within the County."*

#### Policies (CO 1.1):

The County will coordinate with appropriate agencies and interested groups to develop, fund and implement programs to maintain the County's natural resources' base.

The Pipeline Avenue residential development shall implement this goal by surveying the existing site prior to any development to locate and identify any existing natural resources that shall be protected. Bonterra Consulting prepared a General Biological Resources Assessment for the project on May 21, 2013. The purpose of the report was to document existing biological conditions on the site and analyze the potential for biological resources including special status plant and wildlife species to occur on the project site. Under the Executive Summary, the findings were as follows: "Two interior live oak trees were observed during the field visit. These are the only trees on the site that are subject to regulation by the San Bernardino County Code. A habitat assessment for Burrowing Owl was also performed. It was determined that potentially suitable habitat for the Burrowing owl is not present on site. No potentially suitable habitat for any special status plant or wildlife species was identified, and no jurisdictional waters were observed."

The landscape plan for the project details the planting of Nine new Oak Trees to replace the two existing Oaks. See Exhibits 11 & 12 for the Landscape Plans.

### 2.7.1 OUTDOOR RECREATION

The development shall provide an Open Space area (park) of open lawn play area adjacent to the picnic tables and BBQs; in addition to a fenced in Tot Lot area and large shade structure for neighborhood enjoyment. Refer to Exhibit 12 for details.

### 2.7.2 PUBLIC HEALTH AND SAFETY

Safety Element - Goal 5: *"The County will provide adequate flood protection to minimize hazards and structural damage."*

#### Policies (S 5.8):

Design flood control and drainage measures as part of an overall community improvement program that advances the goals of recreation, resource conservation, preservation of natural riparian vegetation and habitat, and the preservation of scenic values of the County's streams and creeks.

The project proposes to collect and convey the "first flush storm water" and convey it to an underground chamber/rock leach field beneath the proposed park for percolation into the ground. A private storm drain system is proposed within the interior streets connecting to a bubbler structure that will outlet the storm waters into Pipeline Avenue. The storm drain system shall accommodate a Q100 storm frequency.

### 2.8 SEISMIC/PUBLIC SAFETY

Safety Element - Goal 7: *"The County will minimize exposure to hazards and structural damage from geologic and seismic conditions."*

Policies (S 7.1):

Strive to mitigate the risks from geologic hazards through a combination of engineering, construction, land use, and development standards.

The proposed site shall be developed and all structures shall be designed in accordance with recommendations contained in any required geologic reports. Leighton and Associates, Inc. prepared a Phase I on May 20, 2013 and a Phase II on June 28, 2013. Their findings indicate that the site is suitable for the proposed residential development: "Based on the results of this investigation, additional soils sampling is not warranted and onsite soils can be used in a residential setting."

## 2.9 NOISE

Noise Element - Goal 1: *"The County will abate and avoid excessive noise exposures through noise mitigation measures incorporated into the design of new noise-generating and new noise-sensitive land uses, while protecting areas within the County where the present noise environment is within acceptable limits."*

Policies (N 1.4):

Enforce the state noise insulation standards (California Administrative Code, Title 24) and Chapter 35 of the California Building Code (CBC).

The Pipeline Avenue Residential Development is bordered by the Union Pacific Railroad to the north. When the site is developed, all state noise standards shall be implemented and enforced.

PCR Services Corporation prepared an Acoustical Study for the project in May, 2013. The report outlines two mitigation measures for the development:

- Mitigation Measure MM-6 : Provide permanent 6-foot tall concrete block wall along the Northern boundary of the project site to reduce the potential train related ground-borne noise impacts on the proposed residential uses.
- Mitigation Measure MM-7: Residential structures should not be built within 40 feet from the rail track centerline to reduce the potential train related vibration impacts on the proposed residential uses.

Both of the Mitigation measures have been incorporated into the design of the project. There will be a 6 foot tall block wall along the Northern boundary, and there is a minimum 40 foot housing setback to the track centerline. See Exhibit 14.

## 2.10 SCENIC HIGHWAY

The Pipeline Avenue Residential Development is not located within a scenic highway corridor and therefore does not affect the California Scenic Highway Program.

City of Chino - Land Use / General Plan Map

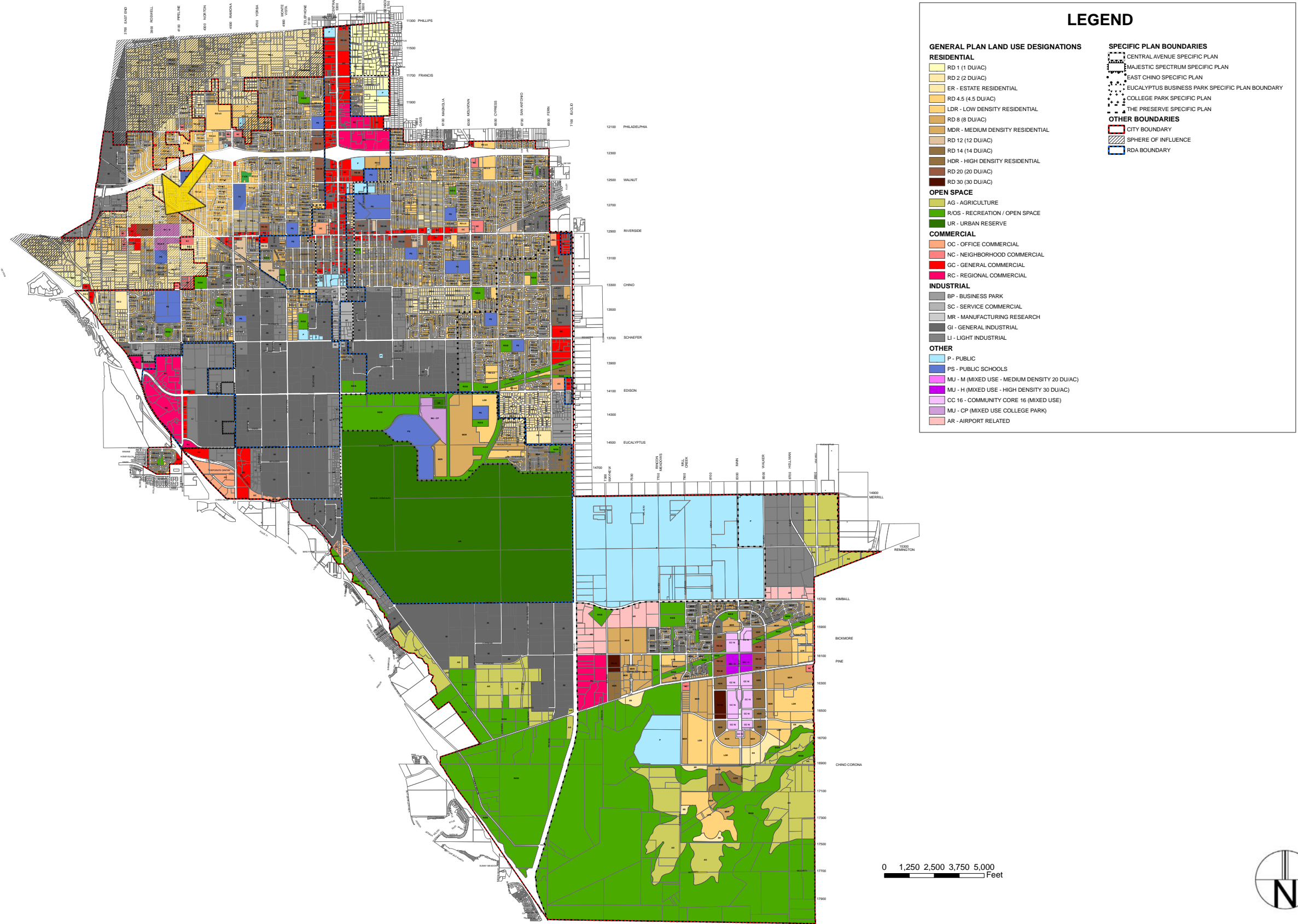


EXHIBIT - 4A

II. General Plan Consistency

Pipeline Avenue Residential Development

Preliminary Development Plan Report  
February 2014



City of Chino - Existing Zoning Map

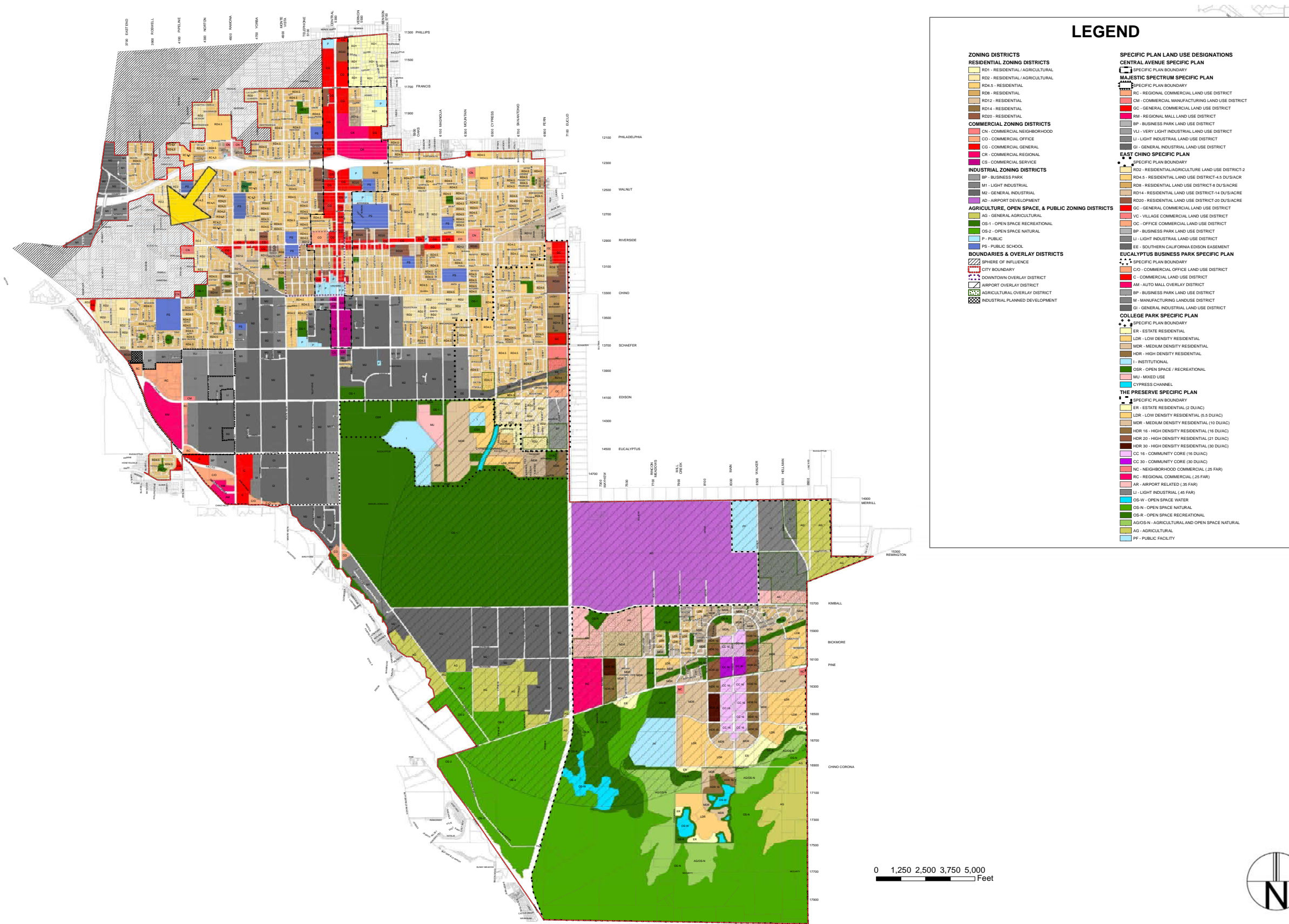
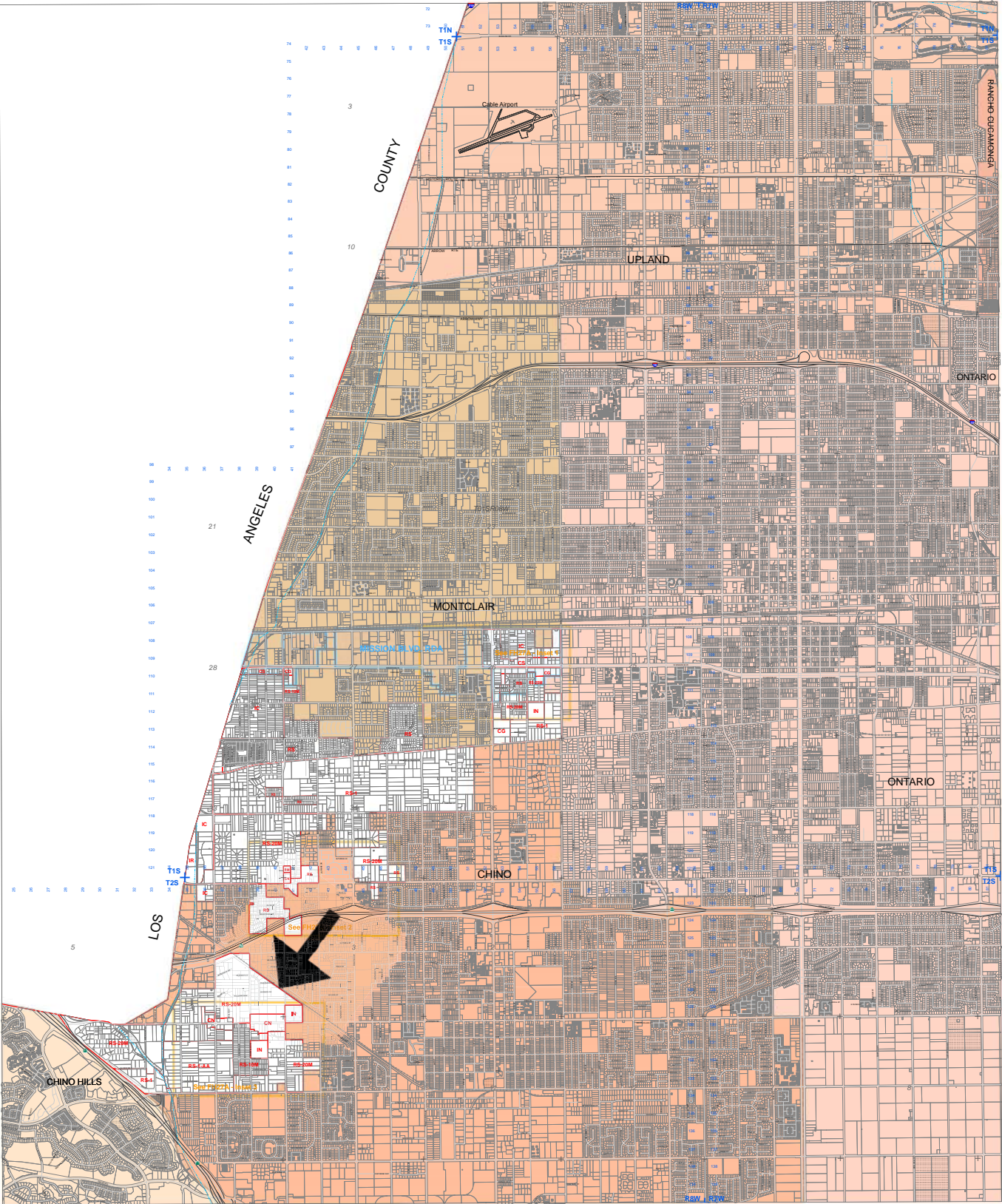


EXHIBIT - 4B

II. General Plan Consistency



# County of San Bernardino - Land Use / General Plan Map



- Land Use Zoning Districts**
- |                              |                           |                            |
|------------------------------|---------------------------|----------------------------|
| AG – Agriculture             | CS – Service Commercial   | RC – Resource Conservation |
| CG – General Commercial      | FW – Floodway             | RL – Rural Living          |
| CH – Highway Commercial      | IC – Community Industrial | RM – Multiple Residential  |
| CN – Neighborhood Commercial | IN – Institutional        | RS – Single Residential    |
| CO – Office Commercial       | IR – Regional Industrial  | SD – Special Development   |
| CR – Rural Commercial        | OS – Open Space           | SP – Specific Plan         |

County designated Land Use Zoning Districts do not apply to Federal or State owned property.

- Jurisdictional Control**
- |                 |                          |                        |
|-----------------|--------------------------|------------------------|
| BLM             | State                    | Private Unincorporated |
| National Park   | Indian Land              | RDA                    |
| National Forest | Other Federal Government |                        |
| Military        | County                   |                        |

Jurisdictional Control data is for informational purposes only and is not part of the General Plan Land Use Zoning. The depiction of the various land ownership categories is the best available information but cannot be guaranteed accurate. For current land ownership information please contact the San Bernardino County Assessor's Office.





Conceptual Site Plan



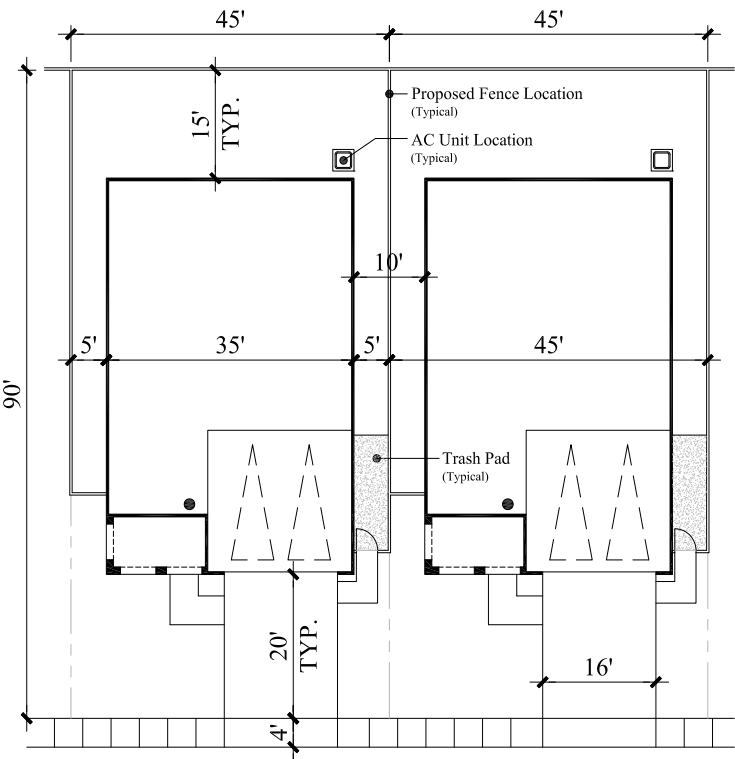
Site Summary

6.86 Acres  
36 Units  
5.25 DU/Acre

Parking

2 Covered Spaces/Unit  
2 Driveway Spaces/Unit  
Total Parking 144 Spaces  
Ratio 4.0 Spaces/Unit

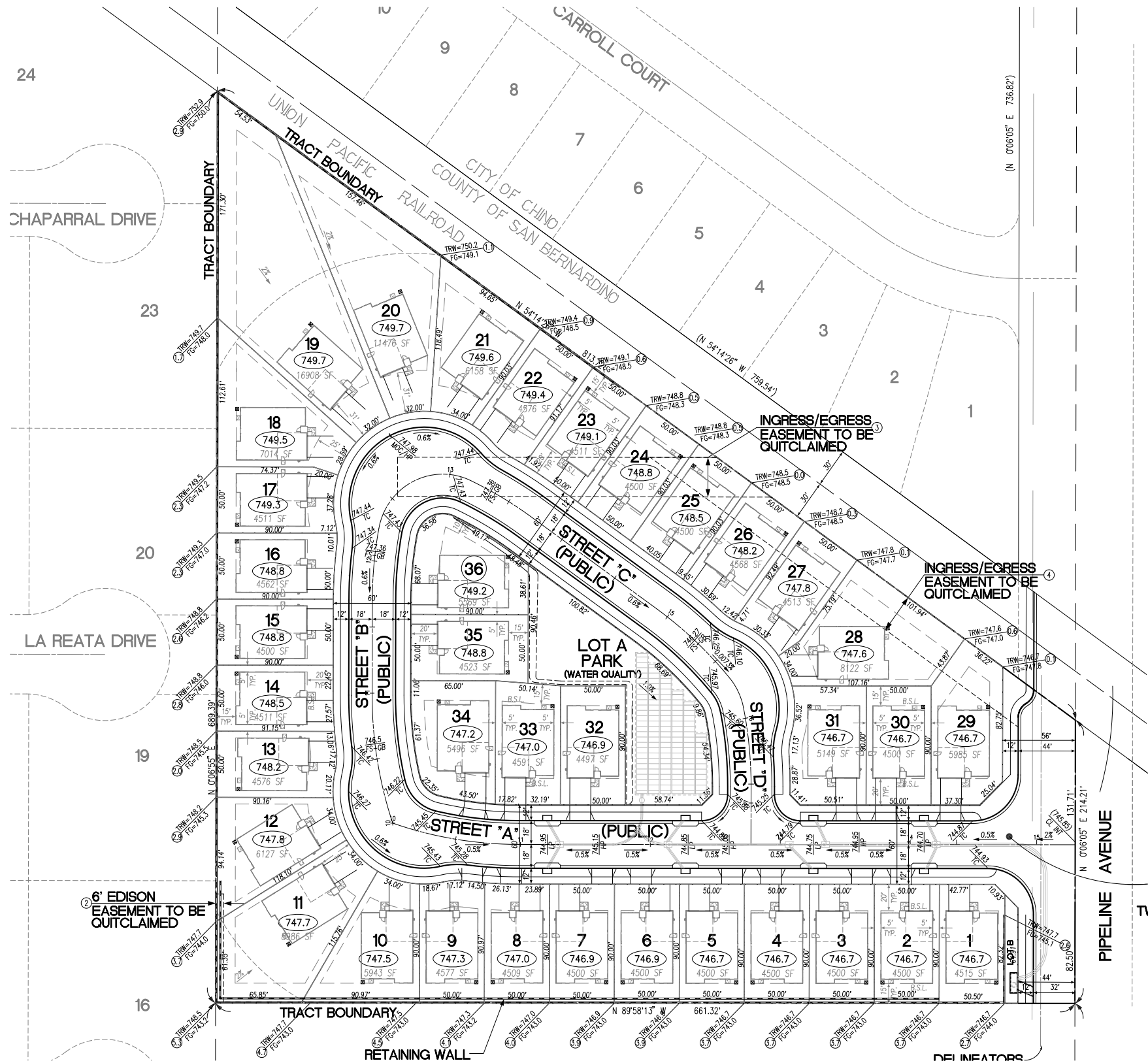
\*Additional on-street parking is available



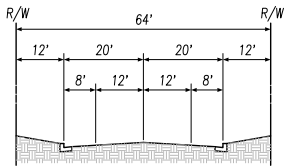
Minimum Typical Lots



Conceptual Lot Study with House Plots



TYPICAL LOT SIZE: 50'X90'  
MIN LOT SIZE: 4,500 SF  
AVERAGE LOT SIZE: 5,387 SF  
NO. OF LOTS: 36  
NO. OF ACRES: 6.65  
DENSITY: 5.41 DU/AC  
RD-8 ZONING (CITY OF CHINO)



STREET 'A'  
ENTRANCE STREET  
2 CAR PARKING LANES  
2 WIDE (12') TRAFFIC LANES  
FROM PIPELINE AVENUE TO STREET 'D'

\*NOTE:  
PLOTTED LOCATIONS ARE FOR  
ILLUSTRATION PURPOSES ONLY,  
ARE ARE NOT THE ACTUAL HOUSE  
LOCATIONS.

WIDER STREET 'A'  
FROM PIPELINE AVE  
TO STREET 'D' FOR  
TWO WAY FIRE ACCESS

# Development Standards

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## 3.1 GENERAL PROVISIONS

Any situations not specifically addressed by this document, shall be subject to the County of San Bernardino, as long as such regulations are not in conflict with the intent and the objectives of the Pipeline Avenue Residential Development Preliminary Development Plan Report.

## 3.2 DEVELOPMENT STANDARDS

The development standards for the Pipeline Avenue Residential Development are described in Exhibit 7 on page 14 and shall be used in conjunction with the single family design guidelines/requirements contained in Section 4.2 and Exhibits 7 - 9J.

## 3.3 SINGLE-FAMILY DESIGN GUIDELINES/REQUIREMENTS

### 3.3.1 FLOOR PLANS

There shall be a minimum of two floor plan types, varying square footages; ranging from a minimum of approximately  $\pm 2,000$  square feet to  $\pm 4,000$  square feet for the proposed project. All homes shall be two-story.

## 3.4 RESIDENTIAL PARKING REQUIREMENTS

The project shall provide a minimum of 4.0 parking spaces per unit; two garage spaces per unit plus two driveway spaces. Additional on-street parking shall be provided.

### 3.4.1 LOCATION OF PARKING SPACES

Each unit shall have a minimum of two spaces provided within an attached garage and two spaces shall be provided within the driveways, however not required, additional on-street guest parking shall be evenly distributed throughout the site. Refer to Exhibit 7 for the Residential Development Standards.

### 3.4.2 VEHICLE ACCESS

Access to the project site shall be via Pipeline Avenue, east of the site. Per Exhibit 13 (Tentative Tract Map). The project shall provide 36' wide streets that will allow parking on both sides.

### 3.4.3 DESIGN AND IMPROVEMENTS

All street and parking areas shall be surfaced with or paved with asphalt concrete, concrete, or other surface approved by the County Public Works Department, and shall be maintained in good condition.

### 3.5 COMMUNITY PRESERVATION/MAINTENANCE

The Pipeline Avenue Residential Development shall have a private Homeowner's Association (HOA). The HOA shall provide maintenance of all neighborhood common area improvements, private neighborhood park, common landscape areas, entry monument, and water quality facilities.



# Residential - Development Standards

CRITERIA	PRELIMINARY/FINAL DEVELOPMENT PLAN REPORT
<b>LOT SIZE</b>	
Minimum Lot Area:	4,500 Square Feet
Minimum Lot Width (at front bldg setback line):	50'
Minimum Lot Depth:	90'
<b>MINIMUM SETBACKS</b>	
Front Setback to Garage:	20' minimum
Front Setback to Livable:	15' minimum
Rear Setback:	15' minimum
Side Setback (Interior):	5' minimum
Side Setback (Street Side):	10' minimum
Distance Between Buildings:	10' minimum
Height:	35' maximum (2.5 stories) (finished grade to top of ridge line)
Building Lot Coverage (max. percent):	60%
Minimum Drive Aisle Width:	36' including parallel spaces
Required Parking Spaces:	4 spaces total (2 w/in garage)
Required Guest Parking Spaces:	N/A (available on-street parking)
Garage Dimension:	20' x 20' (interior dimensions)
Minimum Driveway Length:	20' (from garage door to property line)
Standard Driveway Stall Dimension:	8' x 20' (16' x 20' for 2 spaces)
Parallel Parking Stall Dimension:	8' x 22'
Permitted Uses:	Single family residential units.
Prohibited Uses:	All of which are not stated as Permitted Uses.

# Design Guidelines / Requirements

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## 4.1 PURPOSE AND INTENT

The purpose of this section is to ensure that all development within the Pipeline Avenue Residential Development shall conform to high standards of design quality. The following guidelines/requirements seek to establish a design framework for the project. They are intended to guide and inform to the same extent that they shall require or restrict.

The proposed architectural styles for the Pipeline Avenue Residential Development are defined as “Spanish Colonial”, “Santa Barbara” and “Ranch Hacienda”; however not limited to. The architecture is mindful of the influence of these styles in the surrounding areas of Chino and San Bernardino County. Sections 4.2 through 4.4.2 below shall provide guidelines and requirements for the residential development.

## 4.2 SINGLE FAMILY DESIGN GUIDELINES / REQUIREMENTS

The residences within the Pipeline Avenue Residential Development are envisioned as traditional “Spanish Colonial”, “Santa Barbara” and “Ranch Hacienda” style homes; however not limited to. The following design guidelines shall help create a cohesive community through architecture, landscaping, and site planning. The exhibits shall provide graphic examples incorporating the guidelines/requirements into the project. Also refer to the Residential Development Standards (Exhibit 7) for detailed information.

### 4.2.1 ARCHITECTURAL STYLE

All elevations shall be similar to the elevations enclosed, incorporating building forms, masses, roof design and authentic details and accent features that are consistent with the architectural style of the elevation. Refer to Exhibits 8 for conceptual elevations and Exhibits 9A - 9J for proposed color schemes per style.

### 4.2.2 MATERIALS

All surface treatments or materials shall be designed to appear as an integral part of the design. All materials and colors shall wrap architectural elements and terminate at inside corners.

### 4.2.3 ROOFS

A variety in roof forms, ridge and eave heights, and direction of hips or gables shall be required to avoid a monotonous roofscape as viewed from neighborhood streets, open space, etc. Roof pitches shall range from 2:12 to 6:12. Roof overhangs shall be a maximum of twelve inches and shall comply with the California Building Code. Roof materials should consider authenticity of style while balancing economical necessities.

Fascia elements should be consistent with the architectural style of the building.

Skylights and or solar panels are permitted. Skylight and or solar panel framing material shall be colored to match the adjoining roof. White “bubble” skylights are not permitted.

#### 4.2.4 WINDOWS

Window details, including header, sill and trim elements shall be consistent with the architectural style of the building.

Window shapes and mullion patterns shall be consistent with the architectural style of the building. The shape and size of shutters shall be compatible with the window opening.

#### 4.2.5 BALCONIES AND SUNDECKS

Balconies and sundecks are permitted and shall be designed consistent with its architectural style; subject to HOA approval. Open rails may extend to the floor of the balcony or sundeck and shall be decorative in nature.

#### 4.2.6 GUTTERS AND DOWNSPOUTS

Exposed gutters and downspouts shall be colored to either match or complement the surface to which they are attached.

#### 4.2.7 EXTERIOR LIGHTING

Bollard lights shall be permitted in open space areas. Carriage lights are permitted and shall be consistent with the architectural style of the building.

### 4.3 ACCESSORY ELEMENTS

#### 4.3.1 TRASH

Resident trash containers shall be stored in the side yard of each unit. Receptacles shall be wheeled out to the designated area on the driveway apron, or curb, on trash collection day. Outdoor trash enclosures are prohibited.

### 4.4 NON-ARCHITECTURAL ELEMENTS

#### 4.4.1 MECHANICAL EQUIPMENT

No mechanical equipment (air-conditioning, heating units, etc.) shall be mounted on, or attached to, any pitched roof. They may be located within either the side yard or the rear yard. Such equipment is not permitted in the front yard or the yard within public view of the street. Mechanical devices such as exhaust fans, vents, and pipes shall be painted to match adjacent roof and wall surfaces.

#### 4.4.2 METERS

Natural gas meters shall be mounted onto the external wall of the building. Builder shall contact the utility provider for minimum clearances.

Electrical meters shall be mounted onto the external wall of the building. Builder shall contact the utility provider for minimum clearances.



#### 4.5 PERIMETER SECURITY

The development shall include a new boundary wall (or combination thereof) along the perimeter of the site. See Exhibit 10 (Conceptual Landscape & Wall Plan) for details.

The rear yard wall for Lots 1 - 23 shall utilize a 6' high perimeter precision tan block wall on top of a retaining wall. The rear yard wall for Lots 24 - 29 shall utilize a 6' high perimeter precision tan block wall on top of grade.

The side yard walls along Pipeline Avenue for Lots 1 & 29 shall be 6' tan split face walls with stone columns.

The side and rear yard walls facing the Park and Tot Lot area (Lots 31 - 33 and 35 - 36) shall be 6' tan split face walls with split face columns.

All interior side yards shall utilize 5'-8" tan vinyl fencing.

Conceptual Elevations



Spanish Colonial



Santa Barbara



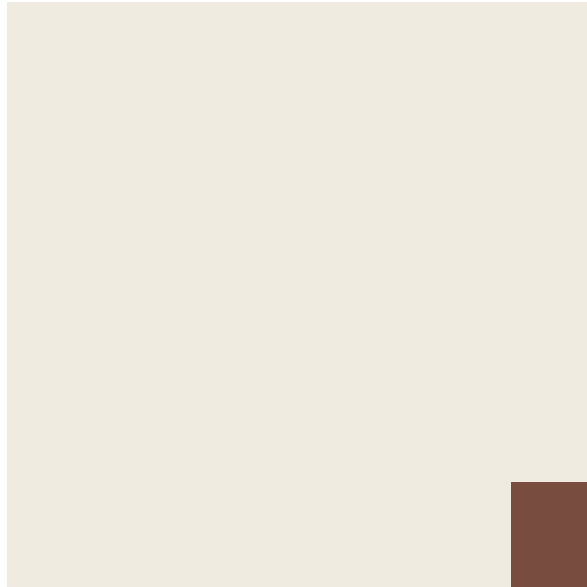
Ranch Hacienda

# Proposed Color Scheme - Spanish Colonial

---

## *Scheme 1*

*Stucco*



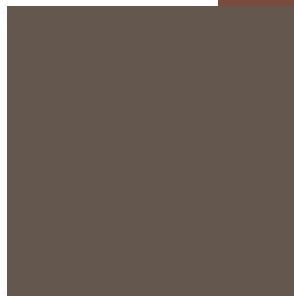
*Garage*



*Fascia / Trim*



*Accent*



*Roof*

*Printed colors may not be 100% accurate*

EXHIBIT - 9A

Pipeline Avenue Residential Development

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# Proposed Color Scheme - Spanish Colonial

---

## *Scheme 2*

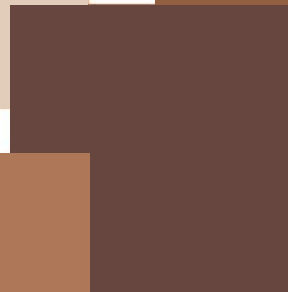
*Stucco*



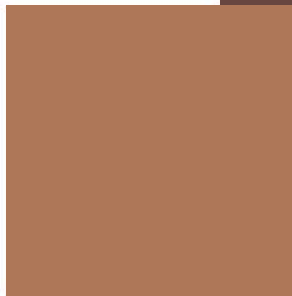
*Garage*



*Fascia / Trim*



*Accent*



*Roof*

*Printed colors may not be 100% accurate*

EXHIBIT - 9B

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# Proposed Color Scheme - Spanish Colonial

## *Scheme 3*

*Stucco*



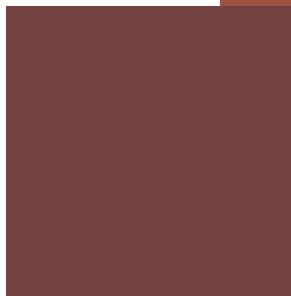
*Garage*



*Fascia / Trim*



*Accent*



*Roof*

*Printed colors may not be 100% accurate*

EXHIBIT - 9C

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# Proposed Color Scheme - Santa Barbara

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## *Scheme 1*

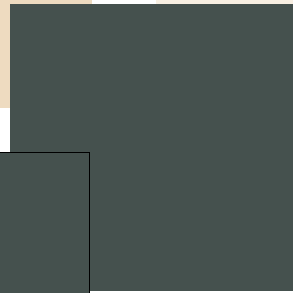
*Stucco*



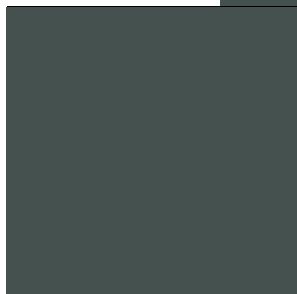
*Garage*



*Fascia / Trim*



*Accent*



*Roof*

*Printed colors may not be 100% accurate*

EXHIBIT - 9D

Pipeline Avenue Residential Development

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# Proposed Color Scheme - Santa Barbara

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## *Scheme 2*

*Stucco*



*Garage*



*Fascia / Trim*

*Accent*



*Roof*

*Printed colors may not be 100% accurate*

EXHIBIT - 9E

Pipeline Avenue Residential Development

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# Proposed Color Scheme - Santa Barbara

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## *Scheme 3*

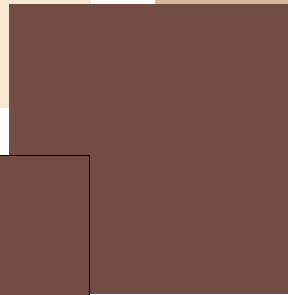
*Stucco*



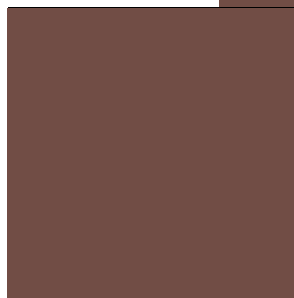
*Garage*



*Fascia / Trim*



*Accent*



*Roof*

*Printed colors may not be 100% accurate*

# Proposed Color Scheme - Ranch Hacienda

## *Scheme 1*

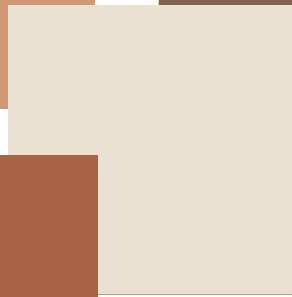
*Stucco*



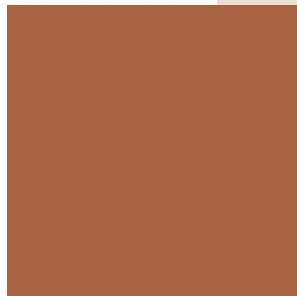
*Garage*



*Fascia / Trim*



*Accent*



*Roof*



*Stone*

*Printed colors may not be 100% accurate*

EXHIBIT - 9G

Pipeline Avenue Residential Development

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# Proposed Color Scheme - Ranch Hacienda

## *Scheme 2*

*Stucco*



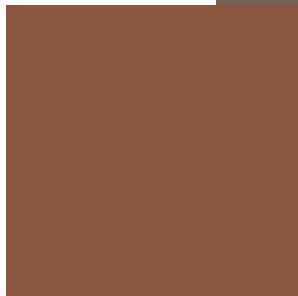
*Garage*



*Fascia / Trim*



*Accent*



*Roof*



*Stone*

*Printed colors may not be 100% accurate*

EXHIBIT - 9H

Pipeline Avenue Residential Development

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# Proposed Color Scheme - Ranch Hacienda

## *Scheme 3*

*Stucco*



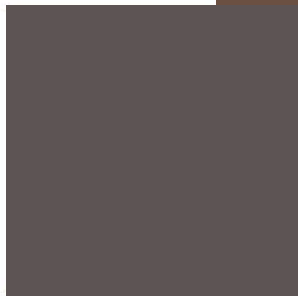
*Garage*



*Fascia / Trim*



*Accent*



*Roof*



*Stone*

*Printed colors may not be 100% accurate*

EXHIBIT - 9I

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# Proposed Color Schemes - Matrix

Scheme	Stucco	Gable End	Fascia/Trim	Accent	Garage Door	Roof	Stone
Spanish Colonial - 1	CLW 1033W Forgetmenot	-	CLV 1131N Bruno	CLV 1132N Grasp	CLC 1282N Consomme	Capistrano 3576 - Topanga	-
Spanish Colonial - 2	CLC 1267W Tracer	-	CLC 1283N Caffeine	CL 2716A Maple Pie	CL 2717N Turpentine	Capistrano 3520 - Weathered Terracotta Flashed	-
Spanish Colonial - 3	CLC 1225W Charmed	-	CLC 1287N Woody	CLC 1279N Bracken	CLC 1229D Paige	Capistrano 3520 - Weathered Terracotta Flashed	-
Santa Barbara - 1	CL 2811 Profusion	-	CLV 1159N Blade	CLV 1159N Blade	CLW 1013W Akamina	Capistrano 3578 - Ramona	-
Santa Barbara - 2	CLW 1021W Cedar Bowl	-	CL 2867N Whisker	CL 3036A Petal Plucker	CL 2867N Whisker	Capistrano 3578 - Ramona	-
Santa Barbara - 3	CLW 1017W South Castle	-	CL 2577N Fortress	CL 2577N Fortress	CL 2802M Babouche	Capistrano 3578 - Ramona	-
Ranch Hacienda - 1	CLC 1263D Basswood	-	CLW 1007W Blaeberry	CL 1597N Heavy Duty	CL 2686N Wheel Barrow	Capistrano 3646 - Sunset Blend	Polermo Country Rubble
Ranch Hacienda - 2	CL 2905A Spraygun	-	CL 2886N Sea-Blite	CL 2697N Lost Luggage	CL 2903M Citadel	Capistrano 3684 - San Raphael Blend	Cognac Country Rubble
Ranch Hacienda - 3	CL 2685A Logwood	-	CL 2687N Sepia	CL 2487N Barn Owl	CL 2681W Museum	Capistrano 3684 - San Raphael Blend	Polermo Country Rubble

\* **PAINT:** Frazee Paint

\* **ROOFING:** Eagle Roofing Products

\* **STONE:** Eldorado Stone

EXHIBIT - 9J

Pipeline Avenue Residential Development

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# Landscape Design Standards & Guidelines

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## 5.1 RESIDENTIAL LANDSCAPE DESIGN STANDARDS AND GUIDELINES

All landscape plans and graphic designs, such as entry monumentation, shall conform to the guidelines as set forth herein, and shall be subject to review and approval by the County of San Bernardino.

## 5.2 PIPELINE AVENUE LANDSCAPE CHARACTER

Pipeline Avenue Landscape Character shall consist of the following:

- Enhanced Entry – Interlocking pavers shall welcome residents into the community, aside the enhanced wall design and materials and entry monument. See Exhibit 11 for details.

## 5.3 COMMUNITY OPEN SPACE AREA

The private neighborhood park shall consist of the following:

- Picnic area – This area shall provide barbeque grills, picnic tables and benches on concrete pads for the use of residents within the development. See Exhibit 12 for details.
- Open Lawn Play Area – This area of the open space shall be turf and situated north of the picnic tables, BBQ area and tot lot area. This area acts as a active open space area. It is provided for general use. See Exhibit 12 for details.
- Play Structure – This active play area shall be provided for the children of the community. See Exhibit 12 for details.
- All connecting walkways shall be minimum of 5'-0" wide and designed to meet ADA Accessibility Design Standards.

## 5.4 LANDSCAPING

Planting designs shall be compatible with the neighboring residential communities. Trees shall help to create the structural backbone to the project. Tree selection shall help to set the landscape tone and shall be organized by primary function (i.e. Street tree, Streetscape, Entry specimen trees, Accent trees, Screening trees etc.). Shrub and groundcover plantings shall also be organized using similar concepts (i.e. background shrub, upright accent shrub, flowering perennial border, screening hedge, etc.). Low water use plants shall be utilized in the plant palette. All trees, shrubs and groundcovers shall be grouped based off of water requirements and irrigated appropriately. See Exhibits 10 - 12 for more detailed information.

## 5.5 ENTRY MONUMENT LIGHTING

Intensely "hot" or bright lighting shall be avoided at the entry monument. Lighting fixtures shall be selected and located appropriately to avoid unwanted glare.

## 5.6 WALLS AND FENCES

All proposed perimeter walls shall be 6' tan precision block walls. All walls facing the neighborhood park and tot lot area shall be a 6' tan split face wall. Side yard walls shall be 5'-8" tan vinyl fencing. Please refer to Exhibits 10 and 11 for wall and fence details.

## 5.7 LANDSCAPE PLANS

A landscape architect licensed in California shall be retained to prepare planting and irrigation plans for all public areas. See Exhibits 10 - 12 for Landscape plans and details for the proposed project.

## 5.8 IRRIGATION DESIGN

Irrigation for both public and private landscapes shall be designed to be as water efficient as possible. All irrigation systems shall be controlled using automatic controllers designed to properly apply water to plant materials given the sites soil conditions, evapotranspiration rates, and shall have automatic rain shut off devices. Spray systems shall have low-volume, matched-precipitation nozzles fitted on pop-up bodies that are outfitted with pressure compensating devices and integral check valves. Hydrozones will be developed to control the water to specific plant material and adhere to environmental conditions. Pop-up bodies will be specified in areas that may experience pedestrian traffic such as walkways and separation between turf and shrub beds.

The on-site irrigation system shall be private and maintained by the planned Homeowner's Association.

## 5.9 LANDSCAPE MAINTENANCE

All landscaping within the residential boundaries of the Pipeline Avenue Residential Development, including the common areas (private neighborhood park, open lawn play area and tot lot), street trees, lighting, and irrigation systems, shall be maintained by the private Homeowner's Association.

## 5.10 PEDESTRIAN LINKAGES (STREET AND WALKWAYS)

Pedestrian pathways are organized to promote hierarchy of circulation relative to location and use. A 5' detached sidewalk shall be provided and flanked by a planting area that provides ample grow space for trees and enhanced landscaping for buffering along the internal streets. A 5' walkway is proposed to meander through the neighborhood park and tot lot area. These walks are to be specified as concrete.






## 5.11 PLANT PALETTE

Exhibit 10 lists possible plant species that shall be used within the Pipeline Avenue Residential Development. Other drought tolerant trees and shrubs shall be permitted; this is only a sample of drought tolerant planting that could be used.

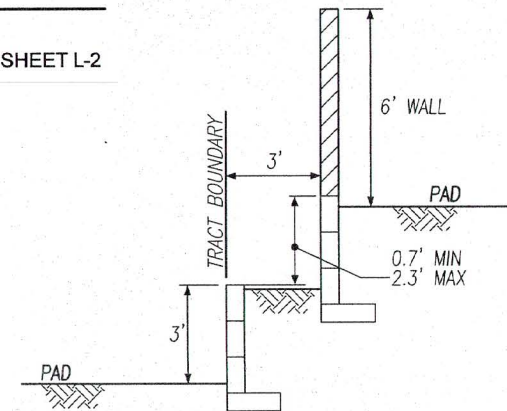


## PLANT PALETTE

### WALL / FENCE LEGEND

- |                                                                                   |                                                                         |
|-----------------------------------------------------------------------------------|-------------------------------------------------------------------------|
|  | 6' TAN SPLIT FACE WALL w/ SPLIT FACE COLUMNS                            |
|  | 6' TAN SPLIT FACE WALL w/ STONE COLUMNS (PIPELINE AVE.) - SEE SHEET L-2 |
|                                                                                   | 5'-8" TAN VINYL FENCE                                                   |
|  | 6' PERIMETER TAN PRECISION BLOCK WALL ATOP RETAINING WALL               |
|  | 6' PERIMETER TAN PRECISION BLOCK WALL ON GRADE                          |
|  | RETAINING WALL BY ENGINEER                                              |

NOTE: SIDE YARD GATES - TAN VINYL  
(ON GARAGE SIDE)



DETAIL "A"  
RETAINING WALL DETAIL

SCALE: NTS

LOTS 2-12



SHRUBS

AGAPANTHUS AFRICANUS 'QUEEN ANNE'  
LIRIOPE MUSCARI  
TULBAGHIA VIOLACEA  
TRACHELOSPERMUM JASMINOIDES  
HYPERICUM CALYCINUM  
ROSMARINUS O. HORIZ. 'HUNTINGTON BLUE'  
PITTOSPORUM SPP.  
BUXUS J. MICROPHYLLA 'GREEN BEAUTY'  
MYRTUS COMMUNIS 'COMPACTA'  
RAPHIOLEPIS INDICA SPP.  
CALLISTEMON VIMINALIS 'LITTLE JOHN'  
ILEX VOMITORIA 'STOKES DWARF'  
PRUNUS CAROLINIANA 'COMPACTA'  
NANDINA DOMESTICA  
ROSMARINUS O. 'TUSCAN BLUE'  
PODOCARPUS GRACILIOR  
JUNIPRUS CHINENSIS 'SPARTAN'  
LIGUSTRUM JAPONICA 'TEXANUM'  
VIBURNUM T. COMPACTA 'SPRING BOUQUET'  
HEMEROCALLIS HYBRIDA 'YELLOW'  
PHORMIUM TENAX  
EUONYMUS SPP.  
XYLOSMA CONGESTUM  
PHOTINIA FRASERI

LILLY-OF-THE-NILE  
BIG BLUE LILY TURF  
SOCIETY GARLIC  
STAR JASMINE  
ST. JOHN'S WORT  
HUNTINGTON'S ROSEMARY  
DWARF PITTOSPORUM  
JAPANESE BOXWOOD  
DWARF MYRTLE  
INDIAN HAWTHORN  
LITTLE JOHN CALLISTEMON  
DWARF YAUPON  
DWARF CAROLINA CHERRY  
HEAVENLY BAMBOO  
TUSCAN BLUE ROSEMARY  
FERN PINE  
SPARTAN JUNIPER  
TEXAS PRIVET  
DWARF VIBURNUM  
DAYLILY  
TOM THUMB FLAX  
DWARF EUONYMUS  
SHINY XYLOSMA  
RED-TIPPED PHOTINIA

## VINES

BIGNONIA VIOLACEA  
PHAEDRANTHUS BUCCINATORIA  
ROSA BANKSIA  
PANDOREA JASMINOIDES SPP.  
PANDOREA JASMINOIDES SPP.  
JASMINUM POLYANTHUM

LAVENDAR TRUMPET VINE  
BLOOD-RED TRUMPET VINE  
BANK'S ROSE  
PINK BOWER VINE  
WHITE BOWER VINE  
PINK JASMINE

### GROUND COVER

SODDED DWARF FESCUE BLEND LAWN - MARATHON II' W/6" X 6" CONCRETE  
HEADER MOW STRIP

3" COVER - FOREST FLOOR MULCH - 0-2" OR APPROVED EQUAL

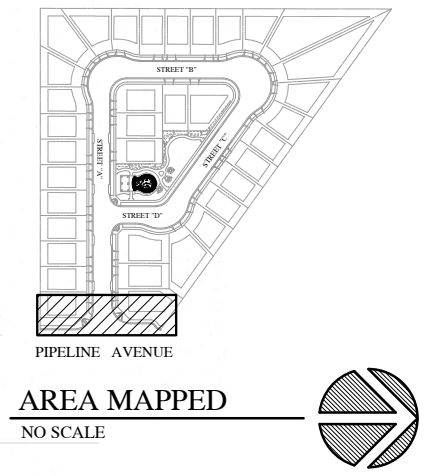
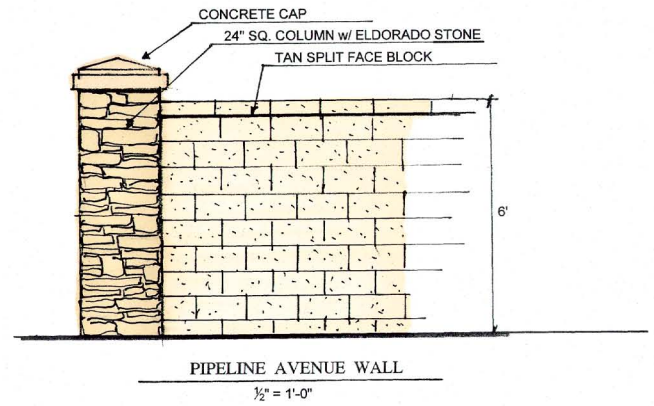
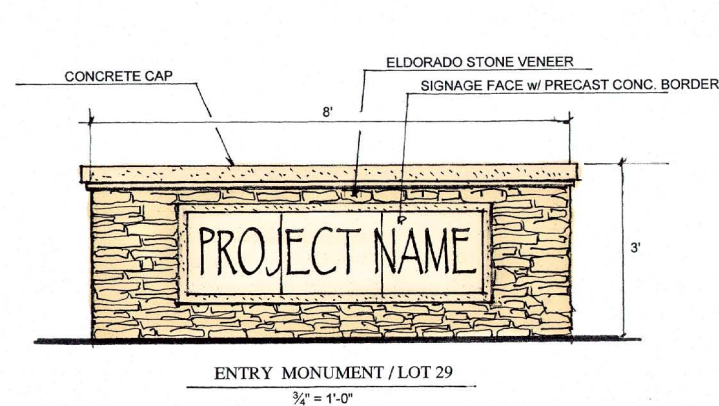
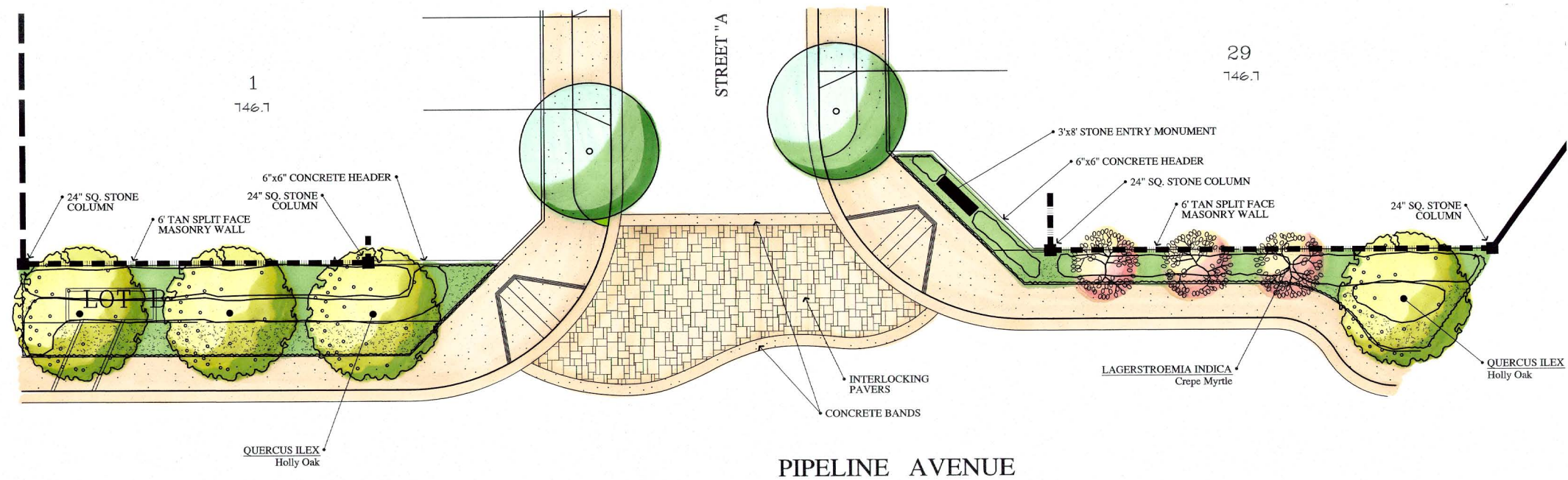
## WATER EFFICIENT IRRIGATION DESIGN

1. "SMART" CONTROLLER SHALL HAVE MULTI-PROGRAMMABLE WATERING SCHEDULES AND START TIMES FOR EFFICIENT WATER APPLICATION CONTROL OF INITIAL PLANTING PHASES AND CONTINUING INTO FUTURE LANDSCAPE MAINTENANCE PHASES.
2. "SMART" CONTROLLER SHALL BE CAPABLE OF WATER BUDGETING AND PROGRAMMING BASED UPON THE EVAPOTRANSPIRATION RATES FROM "ON-SITE" WEATHER AND RAIN SENSORS.
3. AUTOMATIC FLOW SENSING PROTECTION WITH MASTER VALVE SHUT-OFF.
4. RAIN SENSING DEVICE CAPABLE OF AUTOMATIC SYSTEM SHUT DOWN.
5. VALVE DESIGN SHALL INCORPORATE SEPARATE HYDROZONES FOR TURF, SHRUB AND SLOPE AREAS BASED UPON N/E AND S/E SUN/SHADE EXPOSURES.
6. OPTIONAL MOISTURE SENSING DEVICES FOR SPECIFIC VALVE PROGRAMMING BASED UPON SOIL TYPE, CROP COEFFICIENT FACTOR AND PRECIPITATION RATES FOR EACH HYDROZONE.
7. EACH HYDROZONE WILL BE DESIGNED WITH PCS SCREENS AND CHECK VALVES IN HEADS TO PREVENT OVER-SPRAY AND CONTROL WATER RUN-OFF/WASTE.
8. HYDROZONES SHALL BE DESIGNED WITH MATCHED PERCIPITATION RATE NOZZLES FOR OPTIMUM WATER APPLICATION.
9. SHRUB IRRIGATION DESIGN WILL INCORPORATE POINT TO POINT EMISSION DEVICES AND/OR BUBBLERS AND "LOW GALLAGE" NOZZLES TO USE WATER WISELY.
10. RUN SYSTEM IN EARLY MORNING HOURS WHEN WIND LEVELS AND SUN ARE MINIMAL TO PREVENT PLANT TRANSPIRATION.



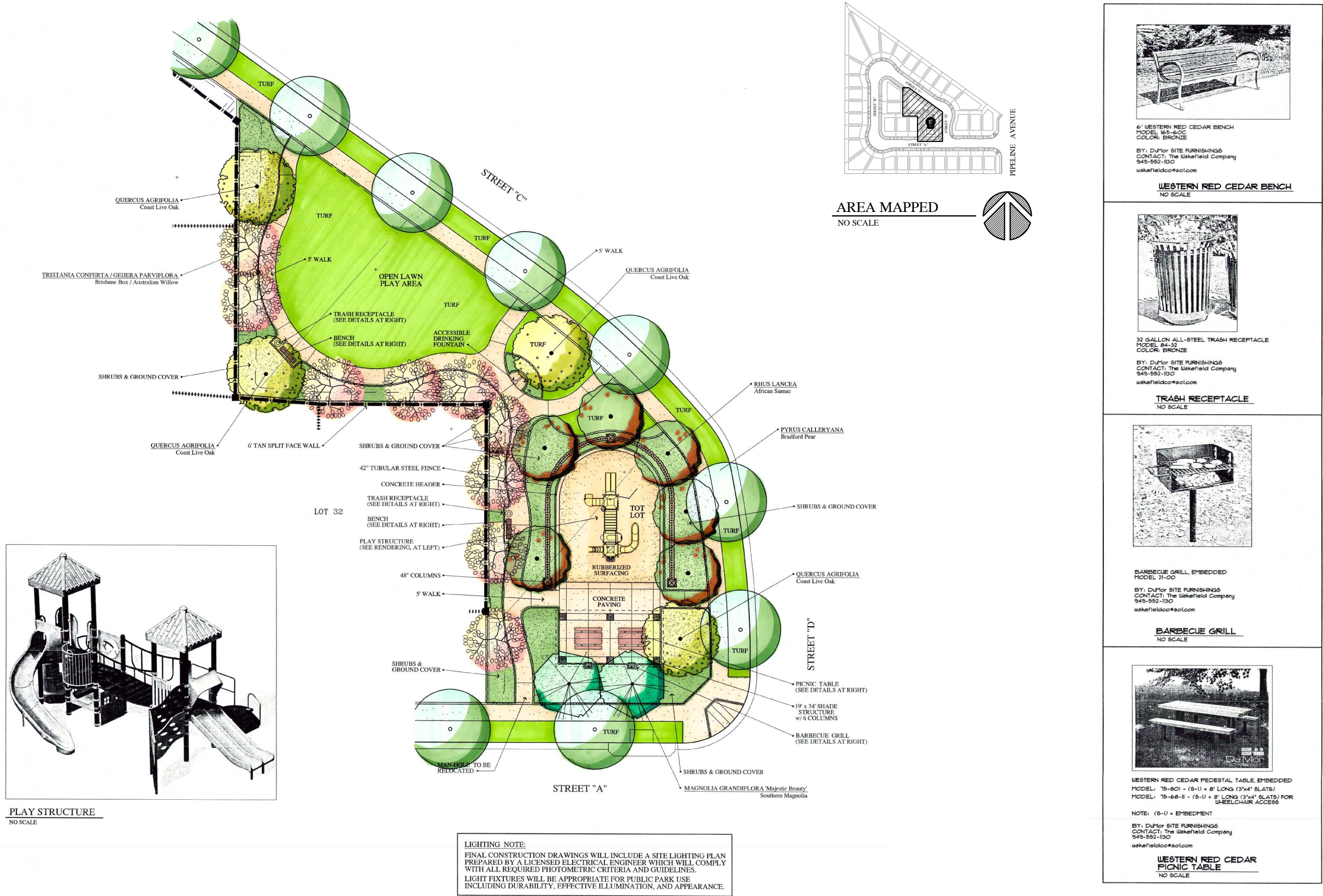


Proposed Entry Monument & Wall Detail





Proposed Park Detail



# Signage

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## 6.1 SIGNS

The sign regulations shall apply to the entire residential component of the Pipeline Avenue Residential Development. The sign program for the project shall be intended to provide tasteful, consistent signage within the project.

### 6.1.1 SIGNAGE DESIGN GUIDELINES

The residential addresses shall be displayed as backlit numbers per CVIPD requirements.

Exhibit 11 is a graphic representation of what the entry monument could look like. Street signage shall be designed per the County of San Bernardino's standards.

# Project Phasing

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## 7.1 PHASING POLICIES

The following policies are intended to ensure that the Pipeline Avenue Residential Development shall provide the essential infrastructure and services to support each phase of development. See Exhibit 13, Phasing Plan, (following page) for the project phasing.

- All new development shall provide the appropriate level of public improvements, services and utilities to adequately serve the proposed uses for each phase of development. Confirmation by the Public Works department of adequate facilities shall be provided prior to the issuance of building permits.
- The Pipeline Avenue Residential Development shall be developed in 5 phases: Phase 1 shall be the construction of the Models (Lots 1 - 3) as well as the infrastructure of the site, street improvements and development of the community park; Phase 2 shall be the construction of Lots 4 - 10 and Lots 32 - 34; Phase 3 shall be the the construction of Lots 11 - 17 and Lots 35 - 36; Phase 4 shall be the construction of Lots 18 - 25; and Phase 5 shall be the construction of Lots 26 - 31. See Exhibit 13 for Phasing Plan.
- CVIFD requires all streets to be paved and fire hydrants operable. This project shall install all water, sewer, storm drains and paving at one time except for the models.
- Each undeveloped phase shall be maintained in a weed free condition and in accordance with the storm water pollution and prevention plan for the project.



Phasing Plan



EXHIBIT - 13

# Infrastructure, Utilities and Public Services

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## 8.1 PURPOSE AND INTENT

The purpose of this chapter is to identify the infrastructure, utilities and public services required to serve the Pipeline Avenue Residential Development. Any development within the project area shall pay its fair share of traffic mitigation measures required by the traffic study and the County of San Bernardino. The Tentative Tract Map (Exhibit 14) and text discusses infrastructure improvements for vehicle circulation, grading, storm drain, sewer, water, utilities, public services and subdivision of the property.

## 8.2 VEHICLE CIRCULATION

The tentative tract map (Exhibit 14) shows access and required improvements along Pipeline Avenue as well as the onsite 36' wide public streets (60' right-of-way) for internal circulation throughout the project, which shall allow parking on both sides. This project will add 3,275 linear feet of new streets.

## 8.3 GRADING

The proposed grading of the project shall comply with San Bernardino County grading requirements. Due to the extreme flatness of the site, small combination perimeter walls/retaining walls will be required around the perimeter of the project. All perimeter, interior and retaining walls on the project will comply with County of San Bernardino requirements. All grading will conform to the 2010 Uniform Building Code.

## 8.4 WATER QUALITY MANAGEMENT PLAN (WQMP)

The proposed WQMP for the project will comply with the municipal storm water program (MS-4 Permit) which is administered by San Bernardino County. The project proposes to collect and convey the "first flush storm water" and convey it to an underground chamber/rock leach field beneath the proposed park for percolation into the ground.

## 8.5 STORM DRAINAGE FACILITIES

A private storm drain system is proposed within the interior streets connecting to a bubbler structure that will outlet the storm waters into Pipeline Avenue. There is no storm drain system in Pipeline Avenue for the project to connect to. As pursuant to the comments from the City of Chino, the project will release only 80% of the pre-developed storm flows for a 100 year frequency storm. All other storm flows will be retained on site and percolate into the ground.

## 8.6 SANITARY SEWER FACILITIES

Sanitary service to the project shall be provided by the City of Chino. The project shall collect and convey the sewage in 4" laterals from each house and 8 inch sewer mains in the streets, connecting to an existing City of Chino 18 inch sewer main in Pipeline Avenue.

## 8.7 DOMESTIC WATER FACILITIES

Domestic water shall be provided by the City of Chino. The project proposes on-tract 8 inch water mains that provide both domestic and fire service to the project. The water meters shall be sized to accommodate fire sprinklers in the houses.

## 8.8 SUBDIVISION

Tentative Tract Map 18902 (Exhibit 14) proposes 36 single-family detached residential lots with a 4,500 square foot minimum (Lots 1 - 36), a private park (Lot A), a landscape lot along Pipeline Avenue (Lot B), and four public streets. The project shall be maintained by a Home Owners Association.



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