

Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613
 For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

Project Title: Lonely Dove Motel Expansion (PROJ-2022-00200)

Lead Agency: San Bernardino County

Contact Person: Luis Rodriguez

Mailing Address: 385 N. Arrowhead Avenue

Phone: 909-387-4106

City: San Bernardino

Zip: 92415

County: San Bernardino

Project Location: County: San Bernardino

City/Nearest Community: Homestead Valley/Landers

Cross Streets: Warnego Trail / New Dixie Mine Road /Old Woman Springs Road

Zip Code: 92285

Longitude/Latitude (degrees, minutes and seconds): 34 ° 16 ' 33 " N / -116 ° 26 ' 51 " W Total Acres: 10

Assessor's Parcel No.: 0629-282-03, and 06

Section: 10 Twp.: T02N Range: R05E Base: SBBB

Within 2 Miles: State Hwy #: 247

Waterways:

Airports:

Railways:

Schools:

Document Type:

CEQA: NOP Draft EIR
 Early Cons Supplement/Subsequent EIR
 Neg Dec (Prior SCH No.) _____
 Mit Neg Dec Other: _____

NEPA: NOI EA
 Draft EIS FONSI

Other: Joint Document
 Final Document
 Other: _____

Local Action Type:

General Plan Update Specific Plan
 General Plan Amendment Master Plan
 General Plan Element Planned Unit Development
 Community Plan Site Plan

Rezone Prezone
 Use Permit Land Division (Subdivision, etc.)

Annexation
 Redevelopment
 Coastal Permit
 Other: _____

Development Type:

Residential: Units _____ Acres _____
 Office: Sq.ft. _____ Acres _____ Employees _____
 Commercial: Sq.ft. 111,277 Acres 10 Employees 40
 Industrial: Sq.ft. _____ Acres _____ Employees _____
 Educational: _____
 Recreational: _____
 Water Facilities: Type MGD _____

Transportation: Type _____
 Mining: Mineral _____
 Power: Type _____ MW _____
 Waste Treatment: Type MGD _____
 Hazardous Waste: Type _____
 Other: _____

Project Issues Discussed in Document:

<input checked="" type="checkbox"/> Aesthetic/Visual	<input type="checkbox"/> Fiscal	<input type="checkbox"/> Recreation/Parks	<input checked="" type="checkbox"/> Vegetation
<input type="checkbox"/> Agricultural Land	<input type="checkbox"/> Flood Plain/Flooding	<input type="checkbox"/> Schools/Universities	<input type="checkbox"/> Water Quality
<input checked="" type="checkbox"/> Air Quality	<input type="checkbox"/> Forest Land/Fire Hazard	<input checked="" type="checkbox"/> Septic Systems	<input checked="" type="checkbox"/> Water Supply/Groundwater
<input checked="" type="checkbox"/> Archeological/Historical	<input checked="" type="checkbox"/> Geologic/Seismic	<input type="checkbox"/> Sewer Capacity	<input type="checkbox"/> Wetland/Riparian
<input checked="" type="checkbox"/> Biological Resources	<input type="checkbox"/> Minerals	<input type="checkbox"/> Soil Erosion/Compaction/Grading	<input type="checkbox"/> Growth Inducement
<input type="checkbox"/> Coastal Zone	<input checked="" type="checkbox"/> Noise	<input checked="" type="checkbox"/> Solid Waste	<input checked="" type="checkbox"/> Land Use
<input checked="" type="checkbox"/> Drainage/Absorption	<input type="checkbox"/> Population/Housing Balance	<input type="checkbox"/> Toxic/Hazardous	<input type="checkbox"/> Cumulative Effects
<input type="checkbox"/> Economic/Jobs	<input type="checkbox"/> Public Services/Facilities	<input checked="" type="checkbox"/> Traffic/Circulation	<input type="checkbox"/> Other: _____

Present Land Use/Zoning/General Plan Designation:

Commercial (motel) / Homestead Valley/Special Development-Residential (HV/SD-RES) and Rural Living (RL) / Rural Living (RL)

Project Description: (please use a separate page if necessary)

A partial Zone District Change from Homestead Valley/Rural Living (HV/RL) to Homestead Valley/Special Development-Residential (HV/SD-Res) and Conditional Use Permit (CUP) for the expansion of an existing 2,442 square-foot eight (8) room motel ("Lonely Dove") on two 5-acre parcels. The existing 8-room motel is located on the western 5-acre parcel (APN 0629-282-03) and would undergo improvements to the motel with 12 additional rooms in 6 separate free-standing structures, upgrades to an existing 2,540 square-foot caretaker residence, 1,800 square-foot restaurant, parking and improved access from the north (Desiderio Drive) and south (New Dixie Mine Road). The eastern 5-acre parcel (APN 0629-282-06) which is currently vacant would be used for the majority of the expansion with 20 additional rooms in 10 separate free-standing structures, one 338 square foot single story prefabricated "futuro" home, miniature golf facility, a 1,000 square foot restaurant with covered outdoor space, and 1,200 square foot storage/shared restroom building and covered guest parking. The facility will be staffed twenty-four (24) hours a day, seven days a week in the Homestead Valley/Special Development-Residential (HV/SD-RES) land use zoning district. The subject parcels are located in the community of Homestead Valley.

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with an "X". If you have already sent your document to the agency please denote that with an "S".

<input checked="" type="checkbox"/> Air Resources Board	<input type="checkbox"/> Office of Historic Preservation
<input type="checkbox"/> Boating & Waterways, Department of	<input type="checkbox"/> Office of Public School Construction
<input type="checkbox"/> California Emergency Management Agency	<input type="checkbox"/> Parks & Recreation, Department of
<input type="checkbox"/> California Highway Patrol	<input type="checkbox"/> Pesticide Regulation, Department of
<input checked="" type="checkbox"/> Caltrans District # 8	<input type="checkbox"/> Public Utilities Commission
<input type="checkbox"/> Caltrans Division of Aeronautics	<input checked="" type="checkbox"/> Regional WQCB # 7
<input type="checkbox"/> Caltrans Planning	<input type="checkbox"/> Resources Agency
<input type="checkbox"/> Central Valley Flood Protection Board	<input type="checkbox"/> Resources Recycling and Recovery, Department of
<input type="checkbox"/> Coachella Valley Mtns. Conservancy	<input type="checkbox"/> S.F. Bay Conservation & Development Comm.
<input type="checkbox"/> Coastal Commission	<input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy
<input type="checkbox"/> Colorado River Board	<input type="checkbox"/> San Joaquin River Conservancy
<input type="checkbox"/> Conservation, Department of	<input type="checkbox"/> Santa Monica Mtns. Conservancy
<input type="checkbox"/> Corrections, Department of	<input type="checkbox"/> State Lands Commission
<input type="checkbox"/> Delta Protection Commission	<input type="checkbox"/> SWRCB: Clean Water Grants
<input type="checkbox"/> Education, Department of	<input type="checkbox"/> SWRCB: Water Quality
<input type="checkbox"/> Energy Commission	<input type="checkbox"/> SWRCB: Water Rights
<input checked="" type="checkbox"/> Fish & Game Region # 6	<input type="checkbox"/> Tahoe Regional Planning Agency
<input type="checkbox"/> Food & Agriculture, Department of	<input type="checkbox"/> Toxic Substances Control, Department of
<input type="checkbox"/> Forestry and Fire Protection, Department of	<input type="checkbox"/> Water Resources, Department of
<input type="checkbox"/> General Services, Department of	
<input type="checkbox"/> Health Services, Department of	
<input type="checkbox"/> Housing & Community Development	
<input checked="" type="checkbox"/> Native American Heritage Commission	<input checked="" type="checkbox"/> Other: <u>Morongo Basin Conservation Association</u>
	<input type="checkbox"/> Other: _____

Local Public Review Period (to be filled in by lead agency)

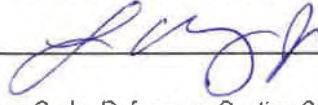
Starting Date February 4, 2026 Ending Date March 6, 2026

Lead Agency (Complete if applicable):

Consulting Firm: Lilburn Corporation
Address: 1905 Business Center Drive
City/State/Zip: San Bernardino, CA 92408
Contact: Tony De Luca
Phone: (909) 890-1818x7

Applicant: David Martinez, Loescher-Mechem Architects, Inc.
Address: 353 S. Broadway, Ste #201
City/State/Zip: Los Angeles, CA 90013
Phone: (310) 745-9211

Signature of Lead Agency Representative:



Date: 02/2/2026

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.