

**Notice of Completion & Environmental Document Transmittal**

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613  
 For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

**Project Title:** Lonely Dove Motel Expansion (PROJ-2022-00200)

**Lead Agency:** San Bernardino County

**Contact Person:** Luis Rodriguez

**Mailing Address:** 385 N. Arrowhead Avenue

**Phone:** 909-387-4106

**City:** San Bernardino

**Zip:** 92415

**County:** San Bernardino

**Project Location:** County: San Bernardino City/Nearest Community: Homestead Valley/Landers

Cross Streets: Warrego Trail / New Dixie Mine Road / Old Woman Springs Road Zip Code: 92285

Longitude/Latitude (degrees, minutes and seconds): 34 ° 16 ' 33 " N / -116 ° 26 ' 51 " W Total Acres: 10

Assessor's Parcel No.: 0629-282-03, and 06

Section: 10

Twp.: T02N

Range: R05E

Base: SBBB

Within 2 Miles: State Hwy #: 247

Waterways: \_\_\_\_\_

Airports: \_\_\_\_\_

Railways: \_\_\_\_\_

Schools: \_\_\_\_\_

**Document Type:**

CEQA:

☐ NOP

☐ Early Cons

☐ Neg Dec

☒ Mit Neg Dec

☐ Draft EIR

☐ Supplement/Subsequent EIR

(Prior SCH No.) \_\_\_\_\_

Other: \_\_\_\_\_

NEPA:

☐ NOI

☐ EA

☐ Draft EIS

☐ FONSI

Other:

☐ Joint Document

☐ Final Document

☐ Other: \_\_\_\_\_

**Local Action Type:**

☐ General Plan Update

☐ General Plan Amendment

☐ General Plan Element

☐ Community Plan

☐ Specific Plan

☐ Master Plan

☐ Planned Unit Development

☐ Site Plan

☒ Rezone

☐ Prezone

☒ Use Permit

☐ Land Division (Subdivision, etc.)

☐ Annexation

☐ Redevelopment

☐ Coastal Permit

☐ Other: \_\_\_\_\_

**Development Type:**

☐ Residential: Units \_\_\_\_\_

Acres \_\_\_\_\_

☐ Office: Sq.ft. \_\_\_\_\_

Acres \_\_\_\_\_

Employees \_\_\_\_\_

☒ Commercial: Sq.ft. 111,277

Acres 10

Employees 40

☐ Industrial: Sq.ft. \_\_\_\_\_

Acres \_\_\_\_\_

Employees \_\_\_\_\_

☐ Educational: \_\_\_\_\_

☐ Recreational: \_\_\_\_\_

☐ Water Facilities: Type \_\_\_\_\_

MGD \_\_\_\_\_

☐ Transportation: Type \_\_\_\_\_

☐ Mining: Mineral \_\_\_\_\_

☐ Power: Type \_\_\_\_\_

MW \_\_\_\_\_

☐ Waste Treatment: Type \_\_\_\_\_

MGD \_\_\_\_\_

☐ Hazardous Waste: Type \_\_\_\_\_

☐ Other: \_\_\_\_\_

**Project Issues Discussed in Document:**

☒ Aesthetic/Visual

☐ Agricultural Land

☒ Air Quality

☒ Archeological/Historical

☒ Biological Resources

☐ Coastal Zone

☒ Drainage/Absorption

☐ Economic/Jobs

☐ Fiscal

☐ Flood Plain/Flooding

☐ Forest Land/Fire Hazard

☒ Geologic/Seismic

☐ Minerals

☒ Noise

☐ Population/Housing Balance

☒ Public Services/Facilities

☐ Recreation/Parks

☐ Schools/Universities

☒ Septic Systems

☐ Sewer Capacity

☐ Soil Erosion/Compaction/Grading

☒ Solid Waste

☐ Toxic/Hazardous

☒ Traffic/Circulation

☒ Vegetation

☐ Water Quality

☒ Water Supply/Groundwater

☐ Wetland/Riparian

☐ Growth Inducement

☒ Land Use

☐ Cumulative Effects

☐ Other: \_\_\_\_\_

**Present Land Use/Zoning/General Plan Designation:**

Commercial (motel) / Homestead Valley/Special Development-Residential (HV/SD-RES) and Rural Living (RL) / Rural Living (RL)

**Project Description:** *(please use a separate page if necessary)*

A partial Zone District Change from Homestead Valley/Rural Living (HV/RL) to Homestead Valley/Special Development-Residential (HV/SD-Res) and Conditional Use Permit (CUP) for the expansion of an existing 2,442 square-foot eight (8) room motel ("Lonely Dove") on two 5-acre parcels. The existing 8-room motel is located on the western 5-acre parcel (APN 0629-282-03) and would undergo improvements to the motel with 12 additional rooms in 6 separate free-standing structures, upgrades to an existing 2,540 square-foot caretaker residence, 1,800 square-foot restaurant, parking and improved access from the north (Desideria Drive) and south (New Dixie Mine Road). The eastern 5-acre parcel (APN 0629-282-06) which is currently vacant would be used for the majority of the expansion with 20 additional rooms in 10 separate free-standing structures, one 336 square foot single story prefabricated "futuro" home, miniature golf facility, a 1,000 square foot restaurant with covered outdoor space, and 1,200 square foot storage/shared restroom building and covered guest parking. The facility will be staffed twenty-four (24) hours a day, seven days a week in the Homestead Valley/Special Development-Residential (HV/SD-RES) land use zoning district. The subject parcels are located in the community of Homestead Valley.

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

## Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with and "X".  
If you have already sent your document to the agency please denote that with an "S".

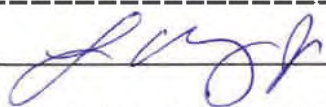
<input checked="" type="checkbox"/> Air Resources Board	<input type="checkbox"/> Office of Historic Preservation
<input type="checkbox"/> Boating & Waterways, Department of	<input type="checkbox"/> Office of Public School Construction
<input type="checkbox"/> California Emergency Management Agency	<input type="checkbox"/> Parks & Recreation, Department of
<input type="checkbox"/> California Highway Patrol	<input type="checkbox"/> Pesticide Regulation, Department of
<input checked="" type="checkbox"/> Caltrans District # 8	<input type="checkbox"/> Public Utilities Commission
<input type="checkbox"/> Caltrans Division of Aeronautics	<input checked="" type="checkbox"/> Regional WQCB # 7
<input type="checkbox"/> Caltrans Planning	<input type="checkbox"/> Resources Agency
<input type="checkbox"/> Central Valley Flood Protection Board	<input type="checkbox"/> Resources Recycling and Recovery, Department of
<input type="checkbox"/> Coachella Valley Mtns. Conservancy	<input type="checkbox"/> S.F. Bay Conservation & Development Comm.
<input type="checkbox"/> Coastal Commission	<input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy
<input type="checkbox"/> Colorado River Board	<input type="checkbox"/> San Joaquin River Conservancy
<input type="checkbox"/> Conservation, Department of	<input type="checkbox"/> Santa Monica Mtns. Conservancy
<input type="checkbox"/> Corrections, Department of	<input type="checkbox"/> State Lands Commission
<input type="checkbox"/> Delta Protection Commission	<input type="checkbox"/> SWRCB: Clean Water Grants
<input type="checkbox"/> Education, Department of	<input type="checkbox"/> SWRCB: Water Quality
<input type="checkbox"/> Energy Commission	<input type="checkbox"/> SWRCB: Water Rights
<input checked="" type="checkbox"/> Fish & Game Region # 6	<input type="checkbox"/> Tahoe Regional Planning Agency
<input type="checkbox"/> Food & Agriculture, Department of	<input type="checkbox"/> Toxic Substances Control, Department of
<input type="checkbox"/> Forestry and Fire Protection, Department of	<input type="checkbox"/> Water Resources, Department of
<input type="checkbox"/> General Services, Department of	<input checked="" type="checkbox"/> Other: <u>Morongo Basin Conservation Association</u>
<input type="checkbox"/> Health Services, Department of	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Housing & Community Development	
<input checked="" type="checkbox"/> Native American Heritage Commission	

### Local Public Review Period (to be filled in by lead agency)

Starting Date February 4, 2026 Ending Date March 6, 2026

### Lead Agency (Complete if applicable):

Consulting Firm: <u>Lilburn Corporation</u>	Applicant: <u>David Martinez, Loescher-Meachem Architects, Inc.</u>
Address: <u>1905 Business Center Drive</u>	Address: <u>353 S. Broadway, Ste #201</u>
City/State/Zip: <u>San Bernardino, CA 92408</u>	City/State/Zip: <u>Los Angeles, CA 90013</u>
Contact: <u>Tony De Luca</u>	Phone: <u>(310) 745-9211</u>
Phone: <u>(909) 890-1818x7</u>	

Signature of Lead Agency Representative:  Date: 02/2/2026

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.