

**APPLICABLE CODES:**  
 - 2019 CALIFORNIA BUILDING CODE  
 - 2019 CALIFORNIA ELECTRICAL CODE  
 - 2019 CALIFORNIA MECHANICAL CODE  
 - 2019 CALIFORNIA PLUMBING CODE  
 - 2019 CALIFORNIA ENERGY CODE  
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 - 2019 CALIFORNIA FIRE CODE  
 - CITY OF RIALTO MUNICIPAL CODES

**ALL WORK SHALL COMPLY WITH THE APPLICABLE LOCAL AND STATE CODES, ORDINANCES, & REGULATIONS.**

**OCCUPANT LOAD**

USE	OCCUPANT LOAD	AREA (SQ. FT.)	NO. OF OCCUPANTS
WAITING/OFFICE AREA (INCLUDING ADA RESTROOM & STAIRS)	1/150	6,610	44
STORAGE AREA	1/500	5,890	12
TOTAL			56

**REQUIRED NUMBER OF EXITS FOR LESS THAN 50 OCCUPANTS = 1**

**2019 CBC TABLE 1006.2.1 COMMON PATH OF EGRESS TRAVEL**  
 B, S OCCUPANCIES WITHOUT FIRE SPRINKLERS 75' TRAVEL MAX. WITH FIRE SPRINKLERS 100' MAX.

**2019 CBC TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY**  
 OCCUPANCY B MAX OCCUPANT LOAD 49 / PROPOSED 4  
 OCCUPANCY S MAX OCCUPANT LOAD 29 / PROPOSED 4  
 EXITS REQUIRED FOR B OCCUPANCY 3  
 EXITS REQUIRED FOR S OCCUPANCY 3

TOTAL EXITS PROVIDED 6

**2019 CPC ANALYSIS TABLE 422.1 MINIMUM PLUMBING FACILITIES**  
 OCCUPANCY LOAD B: 44 (50% PER GENDER = 22/22)  
 OCCUPANCY LOAD S: 12 (50% PER GENDER = 6/6)  
 1:1-50 PERSONS FOR F OCCUPANCY REQUIREMENTS

WATER CLOSETS/PERSON	MALE: 1 FEMALE: 2
URINALS/PERSON	1
LAVATORIES/PERSON	MALE: 1 FEMALE: 1
BATHUBS/SHOWERS/PERSON	(NO EXCESSIVE HEAT, CONTAMINANTS, OR INFECTIOUS/IRRITATING MATERIALS PROPOSED IN METAL FABRICATION)
DRINKING FOUNTAINS/FACILITIES	1
OTHER	1 SERVICE SINK

S OCCUPANCY REQUIREMENTS  
 1:1-100 WATER CLOSETS  
 1:1-200 LAVATORIES

WATER CLOSETS/PERSON	MALE: 1 FEMALE: 1
URINALS/PERSON	N/A
LAVATORIES/PERSON	MALE: 1 FEMALE: 1
BATHUBS/SHOWERS/PERSON	N/A
DRINKING FOUNTAINS/FACILITIES	1
OTHER	1 SERVICE SINK

(3) UNISEX RESTROOMS PROVIDED FOR ENTIRE BUILDING. S OCCUPANCY IS ACCESSORY TO B OCCUPANCY

**2019 CBC ALLOWABLE AREA ANALYSIS PER CHAPTER 5**

504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE FOR OCCUPANCIES B, F, M, S, U  
 TYPE II-B CONSTRUCTION: 75'

504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE  
 TYPE II-B CONSTRUCTION: B OCCUPANCY 3 (NS), 4 (S)  
 S OCCUPANCY 2 (NS), 3 (S)

506.2.4 MIXED-OCCUPANCY, MULTISTORY BUILDINGS. EACH STORY OF A MIXED-OCCUPANCY BUILDING WITH MORE THAN ONE STORY ABOVE GRADE PLANE SHALL INDIVIDUALLY COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 508.1.

EQUATION 5-1  
 $A_a = A_t + (NS \times i)$   
 where:  
 $A_a$  = ALLOWABLE AREA (SQUARE FEET).  
 $A_t$  = TABULAR ALLOWABLE AREA FACTOR (NS, SI, OR SI3R VALUE, AS APPLICABLE) IN ACCORDANCE WITH TABLE 506.2.  
 $NS$  = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR NONSPRINKLERED BUILDING (REGARDLESS OF WHETHER THE BUILDING IS SPRINKLERED).  
 $i$  = AREA FACTOR INCREASE DUE TO FRONTAGE (PERCENT) AS CALCULATED IN ACCORDANCE WITH SECTION 506.3.

$A_a = A_t + (NS \times i) = 27,000 + (23,000 \times 0)$   
 $A_a = 92,000 + (0)$   
 $A_a = 92,000$  SQ. FT. FOR B

$A_a = A_t + (NS \times i) = 70,000 + (17,500 \times 0)$   
 $A_a = 70,000 + (0)$   
 $A_a = 70,000$  SQ. FT. FOR S-1

TOTAL ALLOWABLE BUILDING AREA = 92,000 SQ. FT. FOR B OCCUPANCY  
 TOTAL ALLOWABLE BUILDING AREA = 70,000 SQ. FT. FOR S-1 OCCUPANCY  
 TOTAL PROPOSED BUILDING AREA = 6,610 SQ. FT. FOR B OCCUPANCY (WITHIN WAREHOUSE)  
 TOTAL PROPOSED BUILDING AREA = 12,500 SQ. FT. FOR S-1 OCCUPANCY (FOOTPRINT OF BUILDING)

508.1 GENERAL. EACH PORTION OF A BUILDING SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. WHERE A BUILDING CONTAINS MORE THAN ONE OCCUPANCY GROUP, THE BUILDING OR PORTION THEREOF SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 508.2, 508.3 OR 508.4, OR A COMBINATION OF THESE SECTIONS.

508.3 NONSEPARATED OCCUPANCIES. BUILDINGS OR PORTIONS OF BUILDINGS THAT COMPLY WITH THE PROVISIONS OF THIS SECTION SHALL BE CONSIDERED AS NONSEPARATED OCCUPANCIES.

508.3.1 OCCUPANCY CLASSIFICATION. NONSEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE. IN ADDITION, THE MOST RESTRICTIVE PROVISIONS OF CHAPTER 9 WHICH APPLY TO THE NONSEPARATED OCCUPANCIES SHALL APPLY TO THE TOTAL NONSEPARATED OCCUPANCY AREA.

508.3.1.1 WHERE NONSEPARATED OCCUPANCIES OCCUR IN A HIGH-RISE BUILDING, THE MOST RESTRICTIVE REQUIREMENTS OF SECTION 403 WHICH APPLY TO THE NONSEPARATED OCCUPANCIES SHALL APPLY THROUGHOUT THE HIGH-RISE BUILDING.

508.3.2 ALLOWABLE BUILDING AREA AND HEIGHT. THE ALLOWABLE BUILDING AREA AND HEIGHT OF THE BUILDING OR PORTION THEREOF SHALL BE BASED ON THE MOST RESTRICTIVE ALLOWANCES FOR THE OCCUPANCY GROUPS UNDER CONSIDERATION FOR THE TYPE OF CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH SECTION 503.1.

**BRIEF DESCRIPTION OF PROPOSED USE:**  
 PROPOSING TO HAVE OWNER KIRSCHNER COMPANY LLC TO OCCUPY THE PROPOSED 4.99 ACRES TO CONSTRUCT A 12,500 SQ. FT. METAL WAREHOUSE BUILDING CONTAINING A 6,000 SQ. FT. ADMINISTRATIVE OFFICE WITH 6,500 SQ. FT. OF FREIGHT STORAGE USING 2 LOADING DOCKS. THE SITE PROPOSES 25 PASSENGER CAR PARKING & 2 H/C SPACES AND 18 TRUCK AND TRAILER PARKING SPACES AND AN ACRE OF DECOMPOSED GRANITE PARKING FOR HEAVY LOW-BOY TRUCKS WITH MOTOR GRADER AND BULLDOZER HEAVY EQUIPMENT THAT WOULD BREAK ASPHALT PARKING. FREIGHT IS RECEIVED VIA TRUCK & TRAILER AND BROKEN DOWN INTO FREIGHT-FORWARDING CUBES AND LOADED INTO A DRY BOX TRAILER FOR LONG HAUL DESTINATIONS FROM THE WAREHOUSE PORTION. ADMINISTRATIVE OFFICES WITH 10 FULL TIME EMPLOYEES SCHEDULE TRIPS WITH ASSOCIATED PAPERWORK. WORKING HOURS ARE 24 HOURS A DAY 7 DAYS A WEEK INCLUDING 2 FORKLIFT DRIVERS USING 8 HOUR SHIFTS.

**BRIEF DESCRIPTION OF PROPOSED LOCATION AND SURROUNDING PROPERTIES AS THEY CURRENTLY EXIST:**  
 THE PROPERTY IS VACANT AND ALWAYS HAS BEEN VACANT LOCATED ON LIME AVENUE AN UN-FINISHED 2 LANE STREET WHICH OWNER PROPOSES TO DEVELOP 1/2 WIDTH TO COMPLETE. TO THE NORTH IS A VACATED RAIL WAY RIGHT OF WAY, TO THE EAST IS VACANT FIELDS, TO THE SOUTH IS AN OPERATING MANUFACTURING COMPANY, AND TO THE WEST ACROSS LIME AVENUE IS A PROPANE DISTRIBUTION FACILITY.

**LOGISTICS:**  
 THERE ARE PRESENTLY 18 TRUCK & TRAILERS WITH MOST TRACTORS BEING OWNED AND OPERATED BY CONTRACTED DRIVERS AS WELL AS COMPANY OWNED WHO PROPOSE 9 TRUCK TRIPS OUT AND 9 TRUCK TRIPS IN-BOUND 7 DAYS A WEEK. HEAVY EQUIPMENT TRUCK TRIPS AVERAGE 2 OUTBOUND AND 2 IN-BOUND EVERY 5 DAYS AND ARE DELIVERED TO JOB SITES AS A SERVICE TO GRADING CONTRACTORS. BUSINESS HOUSE ARE 7 DAYS A WEEK USING 10 OFFICE PERSONNEL AND 2 FORK LIFT DRIVERS AND AN AVERAGE OF 5 TRUCK DRIVERS TEMPORARILY ON SITE TO BEGIN THE SHIFT OR END THE SHIFT.

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LP1.00	CONCEPT PLANTING & SCHEDULE NOTES
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**PROJECT INFORMATION:**

OWNER: KIRSCHNER COMPANY, LLC  
 14029 Springwater Ln  
 Eastvale CA 92880  
 Phone: 951-750-2736

0232-061-22-0000  
 ETWANDA VINEYARD TRACT ALL THAT PTN LOTS 133 AND 140 LYING SWLY OF SWLY L PE RR R/W 4.987 AC M/L

LAND USE ZONE: REGIONAL INDUSTRIAL (I-R)  
 (SPLIT ZONED) SERVICE COMMERCIAL (CS)

MINOR USE PERMIT APPLICATION:  
 PROPOSED NEW BUILDINGS:  
 OFFICE/FREIGHT BUILDING FLOOR AREA: 12,500 SQ. FT.  
 OFFICE AREA: 6,610 SQ. FT.  
 STORAGE/FREIGHT AREA: 5,890 SQ. FT.  
 TRASH ENCLOSURE: 255 SQ. FT.

NEW TOTAL  
 LOT COVERAGE: 184,350 SQ. FT. = 83.5%

**LANDSCAPE & PAVEMENT CALCULATION:**  
 LOT APN: 0232061220000 = 220,668 SQ. FT. ~ 5.06 AC.  
 15% LANDSCAPE REQUIRED  
 $0.15 \times 220,668$  SQ. FT. = 33,100 SQ. FT.  
 PROVIDED = 36,318 SQ. FT. = 16.5%  
 30% OF PROPOSED LANDSCAPE TO BE DECORATIVE GROUND COVERING.  
 $36,318 \times 0.30 = 10,895$  sq. ft.  
 DECORATIVE GROUND COVER TO BE AT REAR MOST PORTIONS OF SITE, REAR YARD, REAR PORTIONS OF SIDE YARDS, FRONT YARD LANDSCAPE TO BE VEGETATION/LIVE LANDSCAPE

PROPOSED PAVED AREA = 171,850 SQ. FT. = 77.8%

TOTAL IMPERVIOUS AREA = 138,838 SQ. FT. = 80.8%  
 TOTAL PERVIOUS AREA = 33,012 SQ. FT. (DC) 19.2

**BUILDING INFORMATION**  
 BUILDING 1  
 CONSTRUCTION TYPE: II-B  
 SPRINKLERED: YES  
 PHASE: 1  
 BUILDING FOOTPRINT: 12,500 SQ. FT.  
 OFFICE AREA: 6,610 SQ. FT.  
 (WITHIN BUILDING)  
 STORAGE/FREIGHT AREA: 5,890 SQ. FT.

**UTILITY PURVEYORS**  
 WATER: FONTANA WATER COMPANY  
 P.O. BOX 5970, EL MONTE, CA 91734  
 (909) 822-2201  
 ELECTRIC: SOUTHER CALIFORNIA EDISON COMPANY  
 870 E. FOOTHILL BLVD., UPLAND, CA 92501  
 (909) 986-5861  
 GAS: SoCal GAS COMPANY  
 1981 W. LAGONIA AVE., REDLANDS, CA 92373  
 (909) 793-2686  
 PHONE: VERIZON FIOS  
 3580 ORANGE ST., RIVERSIDE, CA 92501  
 (909) 491-9900

**PARKING ANALYSIS PER TABLE 83-15 COUNTY OF SAN BERNARDINO MUNICIPAL CODE**

(N) OFFICE (1/250 SQ. FT.)	6,610	27
(N) FREIGHT STORAGE (171,000 SQ. FT.)	5,890	6
(N) LOADING ZONE (1/5000 SQ. FT.)	200	1
TOTAL		34

ADA PARKING REQ. = 2  
 TOTAL PARKING SPACES REQ. = 34  
 TOTAL PARKING SPACES PROVIDED = 34  
 TOTAL ADA PARKING SPACES PROVIDED = 2 (VAN ACCESSIBLE)

THE REQUIRED OFF-STREET PARKING AND LOADING AREAS ARE TO BE SURFACED WITH A MINIMUM OF TWO INCH (MIN.) ASPHALTIC CONCRETE PAVING.

**NOTES:**  
 - KNOX BOXES WILL BE INSTALLED AT ALL PROPOSED GATES. EXTERIOR LIGHTING TO MEET THE FOLLOWING:  
 -- ALL PASSENGER VEHICLE PARKING AREA SHALL BE ILLUMINATED AT A MINIMUM OF 1.5 FOOT CANDLES.  
 -- ALL TRUCK YARD AREAS SHALL BE ILLUMINATED AT A MINIMUM OF 1.0 FOOT CANDLES.  
 - ALL IMPACT FEES WILL BE PAID IN FULL PRIOR TO BUILDING PERMIT ISSUANCE

**NOTE:**  
 SEPARATE PERMIT APPLICATIONS ARE REQUIRED FOR ZONING, PUBLIC WORKS, FIRE SPRINKLER, SEWER/SEPTIC SYSTEMS, AND/OR EXTERIOR BUILDING SIGNAGE.

OFFICIAL USE ONLY

San Bernardino County Planning Review  
 Azhar Khan 11.9.2021 Sixth Review  
 PROJ-2019-00070



16689 E Foothill Blvd. #205  
 Fontana, Ca. 92335  
 landin.associates@gmail.com

REVISIONS		
NO	DATE	BY REMARKS
1	-	-

DRAWING TITLE  
**TITLE SHEET**

DRAWN BY: J.S.  
 CHECKED: A.L.  
 DATE:   
 SCALE: AS NOTED  
 JOB NO.

T-1



# KIRSCHNER COMPANY, LLC.

APN: 0232-061-22-0000  
 FONTANA, CA 92335  
 MINOR USE PERMIT

OFFICIAL USE ONLY

FOOTHILL BLVD.

APN: 0232-061-21  
 NOT A PART  
 GENERAL COMMERCIAL  
 (C-G)

NOTE: PROJECT DESIGN, DISTRIBUTION CENTERS, WAREHOUSES, TRUCK STOPS AND OTHER FACILITIES WITH LOADING DOCKS WHERE DIESEL TRUCKS MAY RESIDE OVERNIGHT OR FOR PERIODS IN EXCESS OF THREE HOURS SHALL BE DESIGNED TO ENABLE ANY VEHICLE USING THESE FACILITIES TO UTILIZE ON-SITE ELECTRICAL CONNECTIONS TO POWER THE HEATING AND AIR CONDITIONING OF THE CABS OF SUCH TRUCKS, AND ANY REFRIGERATION UNIT(S) OF ANY TRAILER BEING PULLED BY THE TRUCKS, INSTEAD OF OPERATING THE DIESEL ENGINES AND DIESEL REFRIGERATION UNITS OF SUCH TRUCKS AND TRAILERS FOR THESE PURPOSES.

**SITE NOTES:**

- SITE IS TO COMPLY WITH MINIMUM CITY LIGHT STANDARD OF ONE-FOOT CANDLE OF LIGHT FOR ALL ENTRANCES, EXITS, PEDESTRIAN WALKWAYS, PARKING LOTS, AND ACTIVITY AREA. LIGHTING SHALL BE ORIENTED, DIRECTED, AND/OR SHIELDED AS MUCH AS POSSIBLE SO THAT DIRECT ILLUMINATION DOES NOT INFILTRATE ONTO ADJOINING PROPERTIES.
- HOSTILE LANDSCAPE IS TO BE PROVIDED AT SECLUDED & HIDDEN AREAS TO DETER CRIMINAL ACTIVITY
- SECLUDED AREAS ARE TO INCORPORATE ADDITIONAL SECURITY MEASURES BY ADDITION OF GATES/FENCING AND SURVEILLANCE SYSTEM.
- ALL STRUCTURES ON SITE TO BE COATED WITH ANTI-GRAFFITI COATING.
- ANTI-GRAFFITI COATING SHALL BE "VANDL-GUARD ANTI-GRAFFITI COATING"
- ALL PERIMETER/BOUNDARY WALLS SHALL BE DESIGNED AND CONSTRUCTED SO THAT THE OUTER/EXTERIOR FACE OF THE WALL IS AS CLOSE AS POSSIBLE TO THE LOT LINE. IN ANY CASE, THE OUTER/EXTERIOR FACE OF THE WALL SHALL BE WITHIN TWO (2) INCHES OF THE LOT LINE. DISTANCES GREATER THAN TWO (2) INCHES MAY BE APPROVED PRIOR TO CONSTRUCTION BY THE BUILDING OFFICIAL ON A CASE BY CASE BASIS FOR EXTENUATING CIRCUMSTANCES.
- ALL LOT LINES, EASEMENT LINES, ETC. SHALL BE LOCATED AND/OR RELOCATED IN SUCH A MANNER AS TO NOT CAUSE ANY EXISTING STRUCTURE TO BECOME NON-CONFORMING WITH THE REQUIREMENTS OF THE LATEST ADOPTED EDITION OF THE BUILDING CODE, OR ANY OTHER APPLICABLE LAW, ORDINANCE, OR CODE.
- ALL SIGNS SHALL BE UNDERWRITERS LABORATORIES APPROVED, OR EQUAL.
- AN APPROVED FIRE DEPARTMENT KEY BOX IS REQUIRED. THE KEY BOX SHALL BE PROVIDED WITH A TAMPER SWITCH AND SHALL BE MONITORED BY A FIRE DEPARTMENT APPROVED CENTRAL MONITORING SERVICE. SBCFD STANDARD 506.
- ALL SWINGING GATES SHALL HAVE AN APPROVED FIRE DEPARTMENT KNOX LOCK. WHERE AN AUTOMATIC ELECTRIC SECURITY GATE IS USED, AN APPROVED FIRE DEPARTMENT OVERRIDE SWITCH IS REQUIRED. SBCFD STANDARD 503.1.2.
- ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATIONS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. MINIMUM OF 8 INCHES IN HEIGHT AND MINIMUM STROKE OF 1 INCH. ADDRESS NUMERALS SHALL BE A COLOR CONTRASTING TO THE BACKGROUND. DURING HOURS OF DARKNESS NUMBERS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHERE BUILDING IS 200 FEET OR MORE FROM FRONT PROPERTY LINE, ADDRESS NUMBERS SHALL ALSO BE FOUND AT PROPERTY ENTRANCE. NON-ILLUMINATED, BE CONTRASTING, 6 INCHES IN HEIGHT. 2019 CFC CH. 5, & SAN BERNARDINO COUNTY FIRE DISTRICT.

**FIRE ACCESS NOTES:**

- ALL FIRE ACCESS ROADWAYS/DRIVEWAYS SHALL BE CAPABLE OF SUPPORTING A FIRE APPARATUS WITH A GROSS VEHICLE WEIGHT OF 80,000 POUNDS (LBS.) FOR DESIGN PURPOSES, FIRE APPARATUS WEIGHT IS DISTRIBUTED AS 60,000 LBS. ON THE REAR DUAL AXLES AND 20,000 LBS. ON THE FRONT AXLE. WHEN REQUIRED BY THE FIRE CODE OFFICIAL, THE DESIGN OF THE FIRE ACCESS ROADWAYS SHALL BEAR THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER IN ORDER TO VERIFY THAT THEY MEET THIS REQUIREMENT.
- FIRE ACCESS ROADWAYS SHALL BE PAVED WITH A CONCRETE OR ASPHALT MATERIAL IN ORDER TO PROVIDE "ALL WEATHER" SAFE DRIVING CONDITIONS. THE APPROPRIATE THICKNESS OF SURFACE MATERIALS AND BASE MATERIALS SHALL BE DETERMINED BY A QUALIFIED ENGINEER AND SUBJECT TO THE APPROVAL OF THE COUNTY OR CITY ENGINEERING DEPARTMENT, BUT SHALL BE IN ALL CASES A MINIMUM OF FOUR (4) INCHES.
- GENERALLY, THE GRADE OF A FIRE APPARATUS ACCESS ROAD SHALL BE A MAXIMUM OF TWELVE PERCENT (12%) AT ANY POINT.
- GRADES ACROSS THE WIDTH OF A ROAD SECTION OR WITHIN A TURNAROUND AREA SHALL NOT EXCEED FIVE PERCENT (5%)
- IN ORDER TO ACCOMMODATE PROPER ANGLES OF APPROACH AND DEPARTURE, GRADIENT IN FIRE ACCESS ROADS SHALL NOT EXCEED A FIVE PERCENT (5%) CHANGE ALONG ANY TEN (10) FOOT SECTION.
- ALL BUILDINGS SHALL HAVE ACCESS PROVIDED BY APPROVED ROADS, ALLEYS AND PRIVATE DRIVES WITH A MINIMUM TWENTY SIX (26) FOOT UNOBSTRUCTED WIDTH AND VERTICALLY TO FOURTEEN (14) FEET SIX (6) INCHES IN HEIGHT.

**SITE PLAN**  
 1"=40'

**LEGEND**

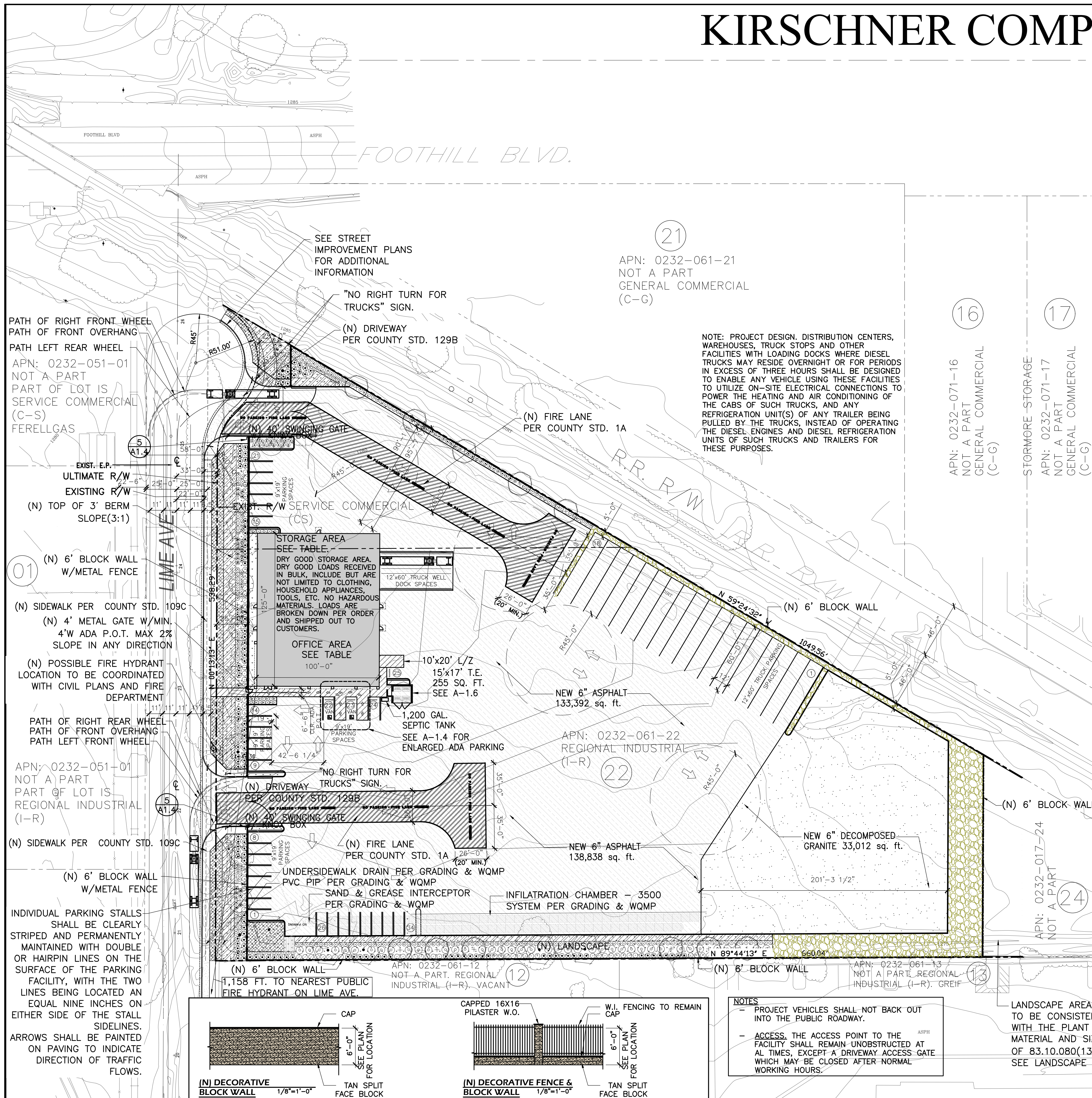
- LANDSCAPE
- PROPERTY LINE
- ADA P.O.T.
- DCG
- ASPHALT

9,799 SQ. FT. PALM SPRINGS GOLD 3/8" WIDE GRAVEL

**LANDIN & ASSOCIATES**  
 DESIGN CONSULTANTS  
 16689 E Foothill Blvd. #205  
 Fontana, Ca. 92335  
 landin.associates@gmail.com

REVISIONS		
NO	DATE	REMARKS

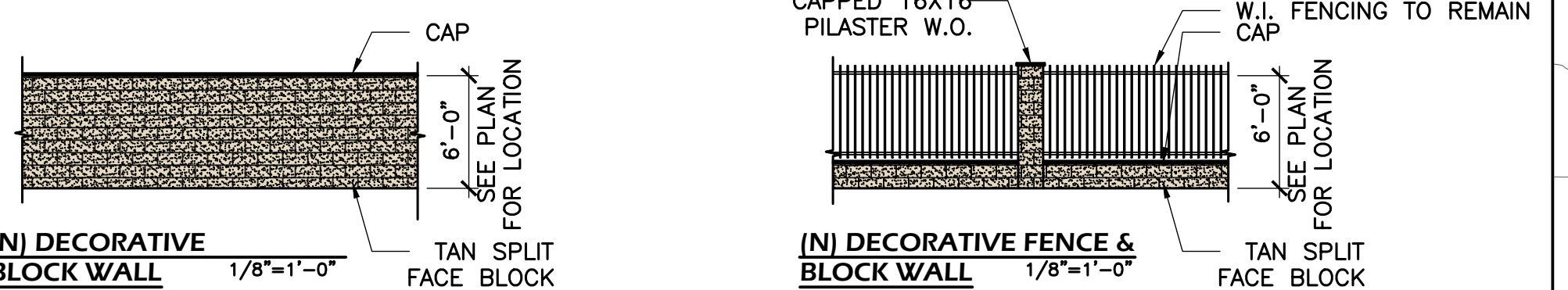
DRAWING TITLE	DRAWN BY: J.S.
<b>SITE PLAN</b>	CHECKED: A.L.
	DATE:
	SCALE: AS NOTED
	JOB NO.



**NOTES**

- PROJECT VEHICLES SHALL NOT BACK OUT INTO THE PUBLIC ROADWAY.
- ACCESS TO THE ACCESS POINT TO THE FACILITY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES, EXCEPT A DRIVEWAY ACCESS GATE WHICH MAY BE CLOSED AFTER NORMAL WORKING HOURS.

LANDSCAPE AREAS ARE TO BE CONSISTENT WITH THE PLANT MATERIAL AND SIZES OF 83.10.080(13). SEE LANDSCAPE PLANS



PATH OF RIGHT FRONT WHEEL  
 PATH OF FRONT OVERHANG  
 PATH LEFT REAR WHEEL  
 APN: 0232-051-01  
 NOT A PART  
 PART OF LOT IS SERVICE COMMERCIAL (C-S)  
 FERRELLGAS  
 EXIST. E.P.  
 ULTIMATE R/W  
 EXISTING R/W  
 (N) TOP OF 3' BERM SLOPE(3:1)  
 (N) 6' BLOCK WALL W/METAL FENCE  
 (N) SIDEWALK PER COUNTY STD. 109C  
 (N) 4' METAL GATE W/MIN. 4'W ADA P.O.T. MAX 2% SLOPE IN ANY DIRECTION  
 (N) POSSIBLE FIRE HYDRANT LOCATION TO BE COORDINATED WITH CIVIL PLANS AND FIRE DEPARTMENT  
 PATH OF RIGHT REAR WHEEL  
 PATH OF FRONT OVERHANG  
 PATH LEFT FRONT WHEEL  
 APN: 0232-051-01  
 NOT A PART  
 PART OF LOT IS REGIONAL INDUSTRIAL (I-R)  
 (N) SIDEWALK PER COUNTY STD. 109C  
 (N) 6' BLOCK WALL W/METAL FENCE  
 INDIVIDUAL PARKING STALLS SHALL BE CLEARLY STRIPED AND PERMANENTLY MAINTAINED WITH DOUBLE OR HAIRPIN LINES ON THE SURFACE OF THE PARKING FACILITY, WITH THE TWO LINES BEING LOCATED AN EQUAL NINE INCHES ON EITHER SIDE OF THE STALL SIDELINES. ARROWS SHALL BE PAINTED ON PAVING TO INDICATE DIRECTION OF TRAFFIC FLOWS.

(16)  
 APN: 0232-071-16  
 NOT A PART  
 GENERAL COMMERCIAL (C-G)  
 STORAGE STORAGE  
 APN: 0232-071-17  
 NOT A PART  
 GENERAL COMMERCIAL (C-G)  
 (24)  
 APN: 0232-017-24  
 NOT A PART

SEE STREET IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION  
 "NO RIGHT TURN FOR TRUCKS" SIGN.  
 (N) DRIVEWAY PER COUNTY STD. 129B  
 (N) 40' SWINGING GATE  
 STORAGE AREA  
 SEE TABLE  
 DRY GOOD STORAGE AREA. DRY GOOD LOADS RECEIVED IN BULK, INCLUDE BUT ARE NOT LIMITED TO CLOTHING, HOUSEHOLD APPLIANCES, TOOLS, ETC. NO HAZARDOUS MATERIALS. LOADS ARE BROKEN DOWN PER ORDER AND SHIPPED OUT TO CUSTOMERS.  
 OFFICE AREA  
 SEE TABLE  
 100'-0"  
 12'x60' TRUCK WELL DOCK SPACES  
 10'x20' L/Z  
 15'x17' T.E.  
 255 SQ. FT.  
 SEE A-1.6  
 1,200 GAL. SEPTIC TANK  
 SEE A-1.4 FOR ENLARGED ADA PARKING  
 (N) DRIVEWAY PER COUNTY STD. 129B  
 "NO RIGHT TURN FOR TRUCKS" SIGN.  
 (N) FIRE LANE PER COUNTY STD. 1A  
 UNDERSIDEWALK DRAIN PER GRADING & WQMP  
 PVC PIP PER GRADING & WQMP  
 SAND & GREASE INTERCEPTOR PER GRADING & WQMP  
 INFILTRATION CHAMBER - 3500 SYSTEM PER GRADING & WQMP  
 (N) LANDSCAPE  
 (N) 6' BLOCK WALL  
 1,158 FT. TO NEAREST PUBLIC FIRE HYDRANT ON LIME AVE.  
 APN: 0232-061-12  
 NOT A PART. REGIONAL INDUSTRIAL (I-R). VACANT  
 (N) 6' BLOCK WALL  
 (N) 6' BLOCK WALL  
 (N) 6' BLOCK WALL  
 (N) 6' BLOCK WALL

(21)  
 APN: 0232-061-21  
 NOT A PART  
 GENERAL COMMERCIAL (C-G)  
 (5)  
 APN: 0232-051-01  
 NOT A PART  
 PART OF LOT IS SERVICE COMMERCIAL (C-S)  
 FERRELLGAS  
 (N) 6' BLOCK WALL W/METAL FENCE  
 (N) SIDEWALK PER COUNTY STD. 109C  
 (N) 4' METAL GATE W/MIN. 4'W ADA P.O.T. MAX 2% SLOPE IN ANY DIRECTION  
 (N) POSSIBLE FIRE HYDRANT LOCATION TO BE COORDINATED WITH CIVIL PLANS AND FIRE DEPARTMENT  
 (N) 6' BLOCK WALL W/METAL FENCE  
 (N) SIDEWALK PER COUNTY STD. 109C  
 (N) 6' BLOCK WALL W/METAL FENCE  
 INDIVIDUAL PARKING STALLS SHALL BE CLEARLY STRIPED AND PERMANENTLY MAINTAINED WITH DOUBLE OR HAIRPIN LINES ON THE SURFACE OF THE PARKING FACILITY, WITH THE TWO LINES BEING LOCATED AN EQUAL NINE INCHES ON EITHER SIDE OF THE STALL SIDELINES. ARROWS SHALL BE PAINTED ON PAVING TO INDICATE DIRECTION OF TRAFFIC FLOWS.

**FIRE EXTINGUISHER NOTES**

- 906.1 WHERE REQUIRED  
PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS
1. IN GROUP A, B, E, F, H, I, L, M, R-1, R-2, R-2.1, R-3.1, R-4, AND S OCCUPANCIES
  2. WITHIN 30 FEET OF COMMERCIAL COOKING FACILITIES
  3. IN AREAS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED, USED OR DISPENSED.
  4. ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION, EXCEPT GROUP R-3 OCCUPANCIES, IN ACCORDANCE WITH SECTION 3315.1 OF THE CALIFORNIA BUILDING CODE
  5. WHERE REQUIRED BY THE CALIFORNIA FIRE CODE SECTIONS INDICATED IN TABLE 906.1
  6. SPECIAL-HAZARD AREAS, INCLUDING BUT NOT LIMITED TO LABORATORIES, COMPUTER ROOMS AND GENERATOR ROOMS, WHERE REQUIRED BY THE FIRE CODE OFFICIAL.
  7. LARGE AND SMALL FAMILY DAY-CARE HOMES SHALL BE EQUIPPED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM 2A10BC RATING.
  8. WHERE REQUIRED BY CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1, CHAPTER 3.
  9. WITHIN 30 FEET (9144 MM) OF DOMESTIC COOKING EQUIPMENT LOCATED IN A GROUP I-2.

PER TABLE 906.3(1)

MINIMUM RATED SINGLE FIRE EXTINGUISHER - 2A  
MAXIMUM FLOOR AREA PER UNIT OF A - 3,000 SQ. FT.  
MAXIMUM FLOOR AREA FOR EXTINGUISHER - 11,250 SQ. FT.  
MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER - 75 FEET

906.5 CONSPICUOUS LOCATION  
PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL, UNLESS THE FIRE CODE OFFICIAL DETERMINES THAT THE HAZARD POSED INDICATES THE NEED FOR PLACEMENT AWAY FROM NORMAL PATHS OF TRAVEL.

906.6 UNOBSTRUCTED AND UNOBSURED  
PORTABLE FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. IN ROOMS OR AREAS IN WHICH VISUAL OBSTRUCTION CANNOT BE COMPLETELY AVOIDED, MEANS SHALL BE PROVIDED TO INDICATE THE LOCATIONS OF EXTINGUISHERS.

906.7 HANGERS AND BRACKETS  
HAND-HELD PORTABLE FIRE EXTINGUISHERS, NOT HOUSED IN CABINETS, SHALL BE INSTALLED ON THE HANGERS OR BRACKETS SUPPLIED. HANGERS OR BRACKETS SHALL BE SECURELY ANCHORED TO THE MOUNTING SURFACE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

906.9.1 EXTINGUISHERS WEIGHING 40 POUNDS OR LESS  
PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 POUNDS (18 KG) SHALL BE INSTALLED SO THAT THEIR TOPS ARE NOT MORE THAN 5 FEET (1524 MM) ABOVE THE FLOOR.

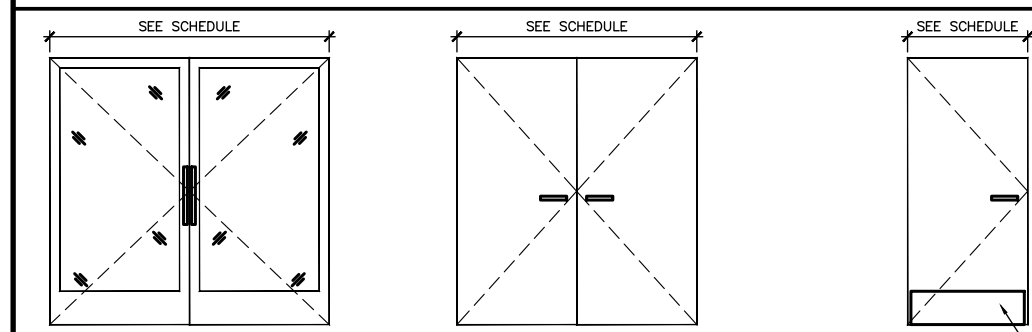
906.9.3 FLOOR CLEARANCE  
THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF INSTALLED HAND-HELD PORTABLE FIRE EXTINGUISHERS SHALL NOT BE LESS THAN 4 INCHES (102 MM).

**EF** - 2A MIN. RATED FIRE EXTINGUISHER.  
WALL (HANGER/BRACKET) MOUNTED

**NEW DOOR SCHEDULE**

SYM.	TYPE	SIZE WxH	QUANTITY	MATERIAL	HARDWARE	REMARKS
①	A	2'-3"-0"x7'-0"	1	1 3/4" STEEL DOOR MIN. 20-MIN. FIRE RESISTANCE	(A)(B)(C)(D)(E)(F)(G)	SEE NOTES 1-7
②	D	3'-0"x7'-0"	6	1 3/8" R. PANEL SOLID CORE	(A)(D)(E)(F)	
③	D	3'-0"x7'-0"	10	1 3/8" R. PANEL HOLLOW CORE	(A)(B)(C)(F)(G)	SEE NOTES #1, #2, #5, #7
④	C	2'-3"-0"x7'-0"	2	1 3/8" R. PANEL SOLID CORE	(A)(B)(C)(F)(G)	SEE NOTES #1, #2, #5, #7
⑤	A	10'-0"x12'-0"	4	STEEL ROLL-UP DOOR	(A)(B)(C)(F)(G)	SEE NOTES #1, #2, #5, #7
⑥	D	3'-0"x7'-0"	3	1 3/4" STEEL DOOR MIN. 20-MIN. FIRE RESISTANCE	(A)(C)(D)(E)(F)(G)(H)	SEE NOTES #1, #2, #5, #7
⑦	D	3'-0"x7'-0"	10	1/2" SINGLE PANE FRAMELESS GLASS	(A)(B)	

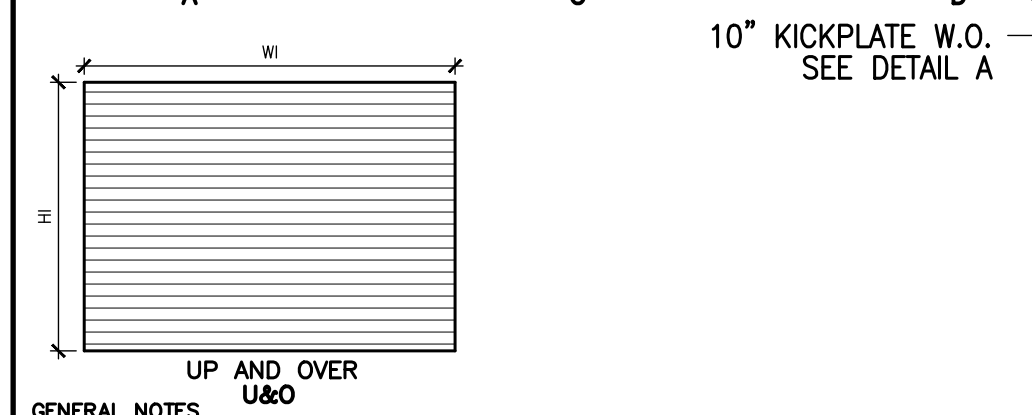
**DOOR TYPE**



**HARDWARE :**

- (A) SELF CLOSING
- (B) PRIVACY LOCKSET
- (C) S/S KICKPLATE 10"x34"
- (D) KEYED LOCKSET
- (E) DOOR HOLDER
- (F) LEVER HARDWARE
- (G) LATCH TYPE MEET ADA CODE
- (H) PANIC HARDWARE

\*NOTE: SEE PLAN FOR DOORS W/HARDWARE WITHIN EACH TYPE. DOORS WITH MARKERS (M) IDENTIFY INDIVIDUAL DOOR TYPE WITH HARDWARE WHEN SIMILAR DOORS HAVE VARYING HARDWARE.

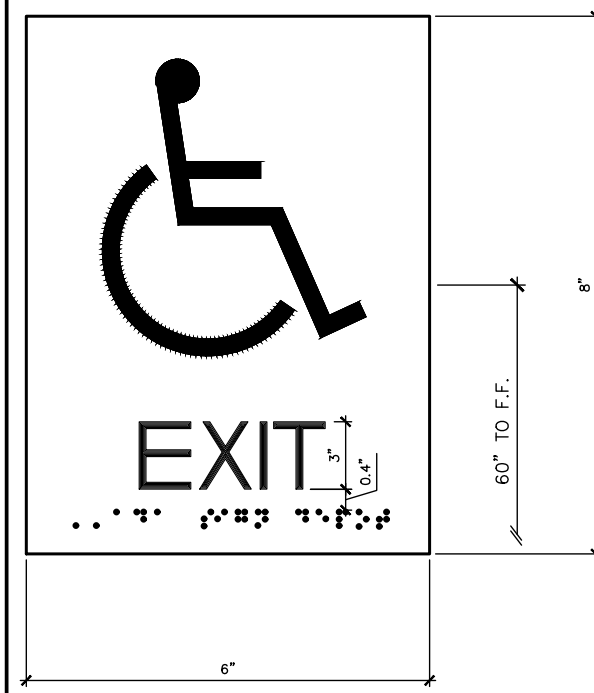
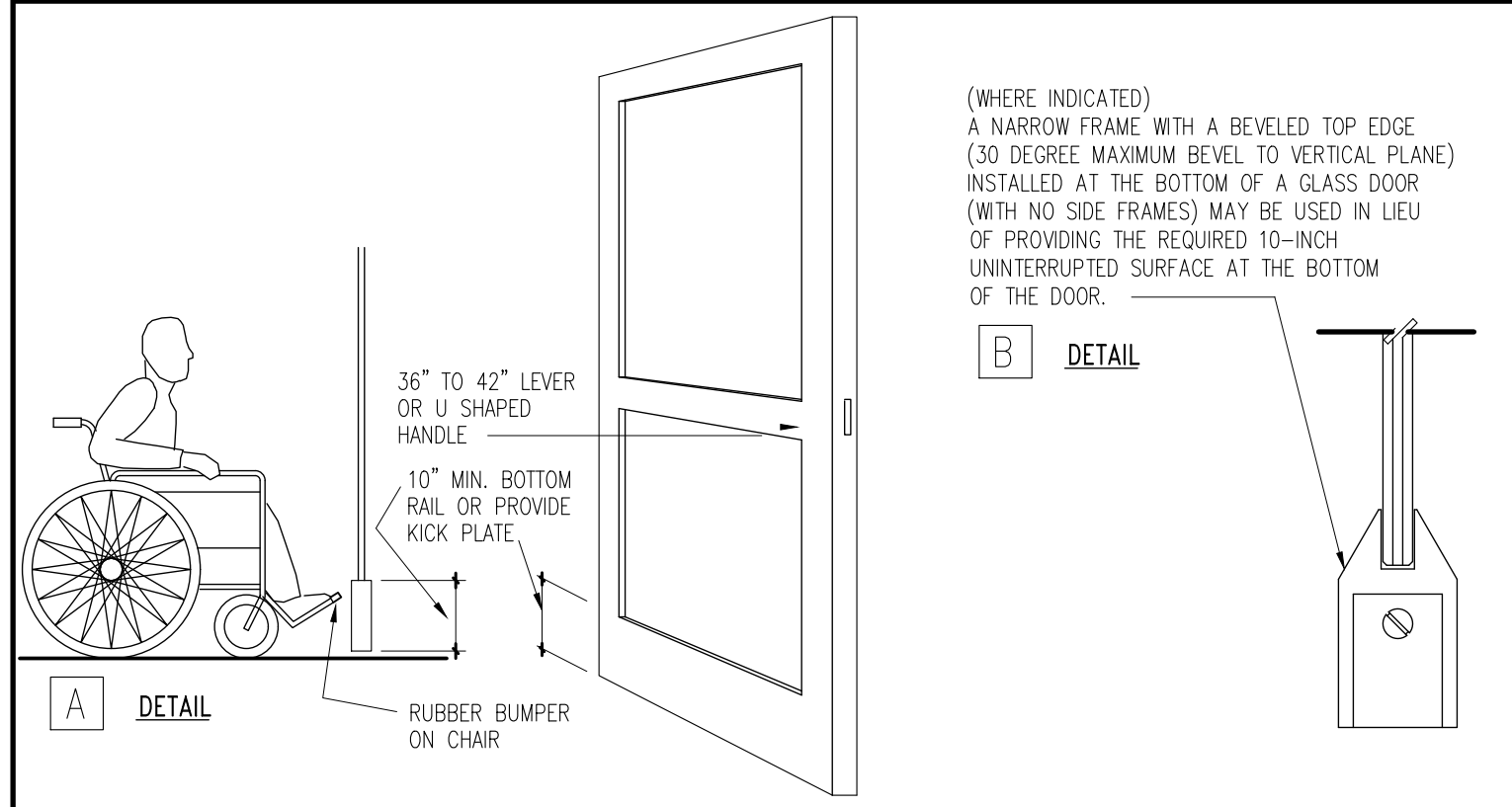
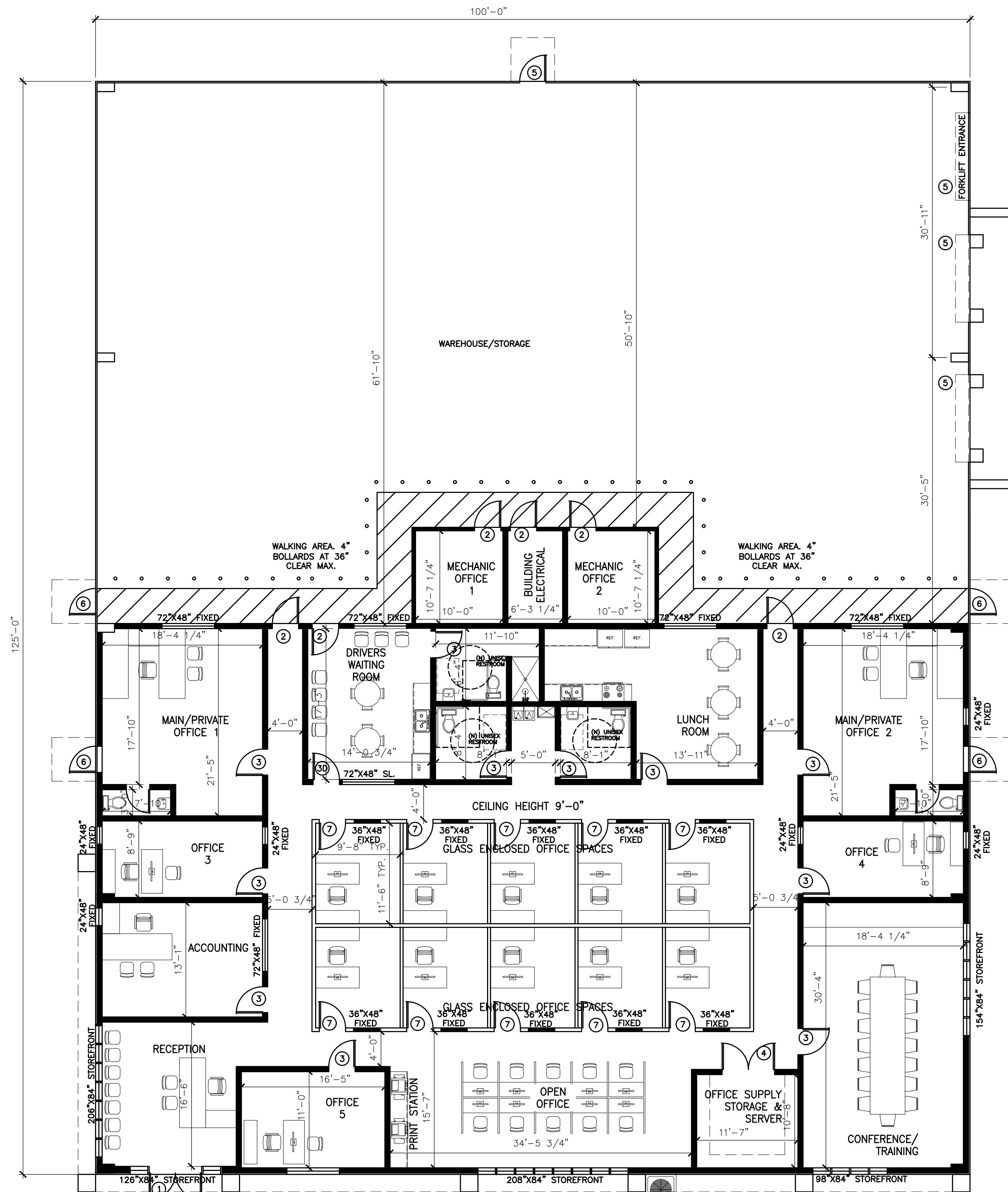


- GENERAL NOTES**
1. PROVIDE H.C. SIGN ON FRONT DOOR
  2. PROVIDE SIGN STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" @ 1" MIN. HT. LETTER
  3. ALL EXTERIOR DOORS OPEN OUTWARD & SHALL BE TIGHT FITTING TO EFFECTIVELY PREVENT THE ENTRANCE OF BUGS & RODENTS.
  4. EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. PROVIDE SELF-RELEASING LOCKING ON EXIT DOORS.
  5. THE BOTTOM 10" OF ALL DOORS TO HAVE A SMOOTH UNINTERRUPTED SURFACE.
  6. DOOR HANDLES SHALL BE PUSH/PULL EQUIPMENT. MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 8 LBS FOR EXTERIOR DOORS AND 5 LBS FOR INTERIOR DOORS.
  7. ALL MEANS OF EGRESS DOORS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1008.1
- A. MEANS OF EGRESS DOORS SHALL COMPLY WITH THE DISTINGUISHABLE FROM THE ADJACENT CONSTRUCTION AND FINISHES WITH NO MIRRORS, CURTAINS, DRAPES, DECORATIONS, OR SIMILAR MATERIALS.
- B. REQUIRED EXIT DOORS SHALL HAVE NOT LESS THAN 32-IN. CLEAR WIDTH, 80-IN. CLEAR HEIGHT, AND SHALL BE CAPABLE OF OPENING 90 DEGREES. THE MAXIMUM SWINGING DOOR LEAF WIDTH IS 48-IN. NOMINAL.
- C. EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING TYPE.
- D. FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS. FOR OTHER SWINGING DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 15 POUNDS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15-POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30-POUND FORCE. THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15-POUND FORCE. REVOLVING AND SLIDING DOORS MAY BE USED IN OTHER THAN GROUP H OCCUPANCIES AS EGRESS DOORS ONLY IF ALL OF THE REQUIREMENTS OF SECTION 1008.1.4.1 AND SECTION 1008.1.4.3, RESPECTIVELY, ARE MET.

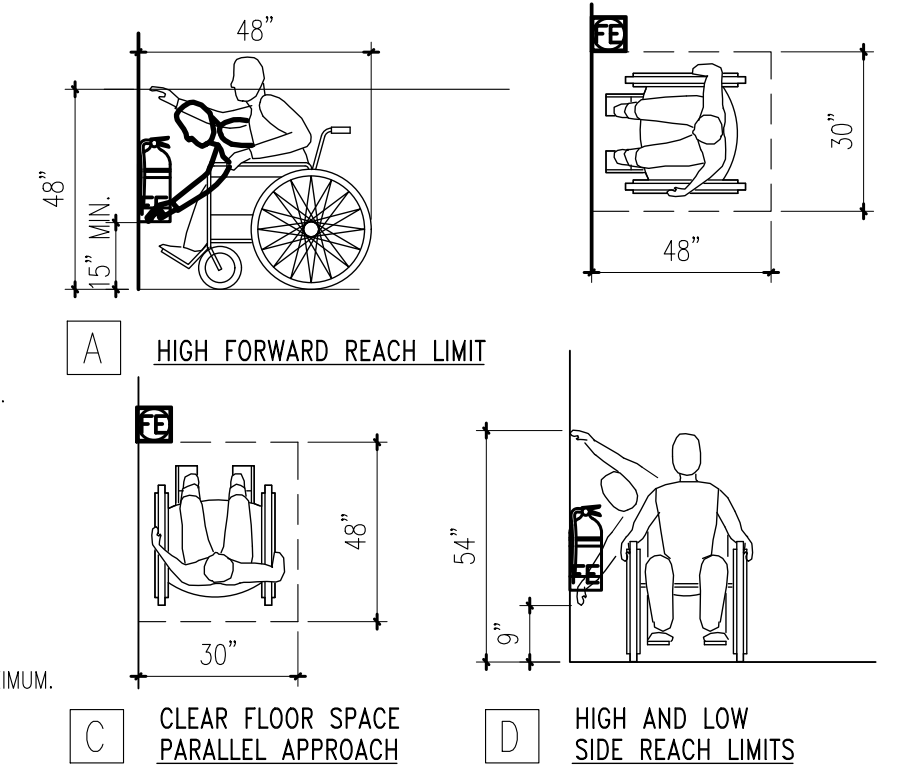
**FLOOR PLAN**  
1/8"=1'-0"

**WALL LEGEND:**

NEW 2x6 METAL STUD WALL



- TACTILE SIGN REQUIREMENTS**
1. SIGNAGE SHALL BE INSTALLED ON LATCH SIDE OF DOOR, OR IF NO SPACE ON THE NEAREST WALL PREFERABLE TO THE RIGHT.
  2. SIGNAGE MUST BE LOCATED SO THAT A PERSON CAN APPROACH WITHIN 3' WITHOUT OBSTRUCTION
  3. SIGNAGE SHALL HAVE A NON-GLARE FINISH WITH A CONTRASTING BACKGROUND
  4. SIGNAGE TO HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 & 1:1.
  5. CHARACTER STROKE WIDTH-TO-HEIGHT RATION BETWEEN 1:5 & 1:10.
  6. SIGNAGE SHALL CONTAIN GRADE 2 BRAILLE WITH DOTS 1/10" O.C. & 2/10" SPACE BETWEEN CELLS RAISED 1/40".
  7. LETTERING TO BE SANS SERIF UPPERCASE 3" TALL WITH CONTRASTING BACKGROUND
- SEE SHEET A-2.02 FOR ADDITIONAL ADA NOTES, DETAILS, AND PLANS.
- NOTES:**
1. X SHALL BE < 25 INCHES; Z SHALL BE > X.
  2. WHEN X < 20 INCHES, THEN Y SHALL BE 48 INCHES MAXIMUM.
  3. WHEN X IS 20 TO 25 INCHES, THEN Y SHALL BE 44 INCHES MAXIMUM.



**OCCUPANT LOAD**

USE	OCCUPANT LOAD	AREA (SQ. FT.)	NO. OF OCCUPANTS
WAITING/OFFICE AREA (INCLUDING ADA RESTROOM & STAIRS)	1/150	6,610	44
STORAGE AREA	1/500	5,890	12
<b>TOTAL</b>			<b>56</b>

REQUIRED NUMBER OF EXITS FOR LESS THAN 50 OCCUPANTS = 1

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DESIGN CONSULTANTS

16689 E Foothill Blvd. #205  
Fontana, Ca. 92335  
landin.associates@gmail.com

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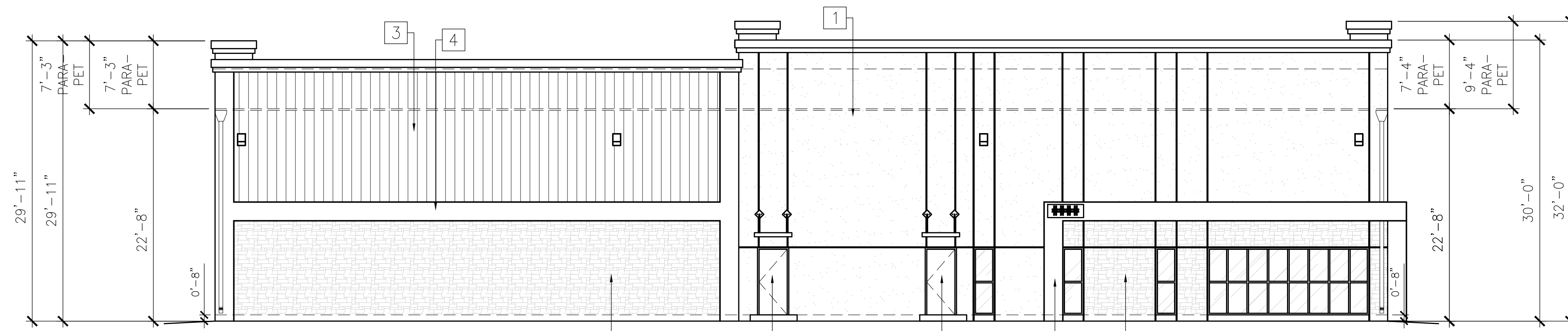
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CHECKED: A.L.  
DATE:   
SCALE: AS NOTED  
JOB NO.

**A-2**

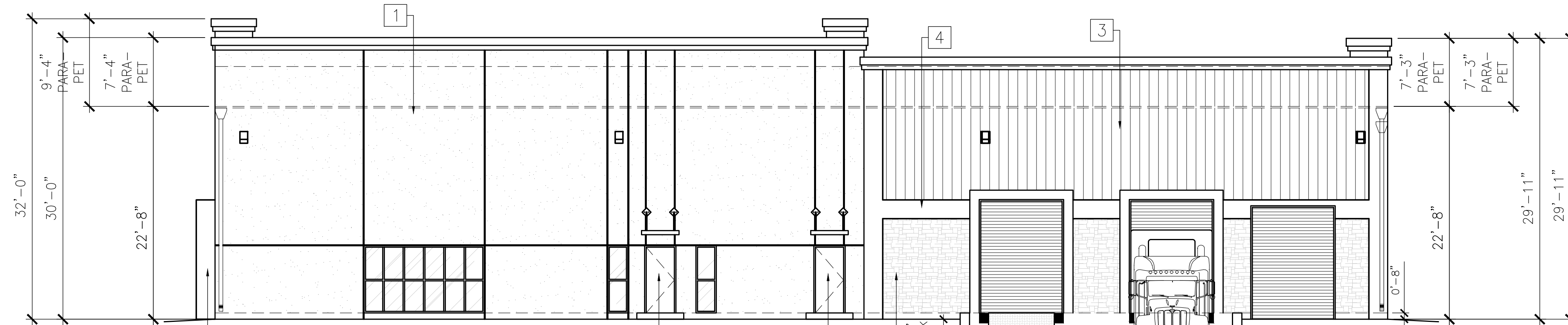
- 1 7/8" STANDARD FINISH CONC. STUCCO. 3 COAT APPLICATION. PAINTED SHERWIN-WILLIAMS "GOASSAMER VEIL" SW9165 238-C1
- 2 HARRISTONE HAVANNAH MASON'S CHOICE VENEER PER ICC-ESR 1593. OVER 2 LAYERS OF GRADE "D" PAPER.
- 3 STEEL SIDING PER MANUFACTURER. COLOR PER MANUFACTURER. COLOR AND MANUFACTURER SHOWN ARE: ASH GRAY BY EMPIRE STEEL
- 4 SHEET METAL DECORATIVE TRIM & CANOPY (SOLID ROOF SHADE STRUCTURE PER CALGREEN 5.407.2.2.1) PAINTED SHERWIN-WILLIAMS "FIREWEED" SW 6328
- 5 METAL ROLL UP DOOR PER PLANS PAINTED SHERWIN-WILLIAMS "PEPPERCORN" SW 7674
- 6 SHIELDED EXTERIOR LIGHT WITH PHOTO AND MOTION SENSOR. SEE ELECTRICAL PLANS FOR SPECS.
- 7 Ø4" GALV. STL. DOWNSPOUT FROM ROOF DRAIN
- 8 EDGE OF DOCK LEVELER (DLM EOD 3011 W/B72 NEVER LIFT-NL7220 15" LIP. TYP.) OR APPROVED EQUAL
- 9 STOREFRONT GLAZING
- 10 EGRESS DOOR
- 11 HVAC EQUIPMENT

ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATIONS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. MINIMUM OF 12 INCHES IN HEIGHT AND MINIMUM STROKE OF 1 INCH. ADDRESS NUMERALS SHALL BE A COLOR CONTRASTING TO THE BACKGROUND 2016 CFC CH. 5, & SAN BERNARDINO COUNTY FIRE DISTRICT



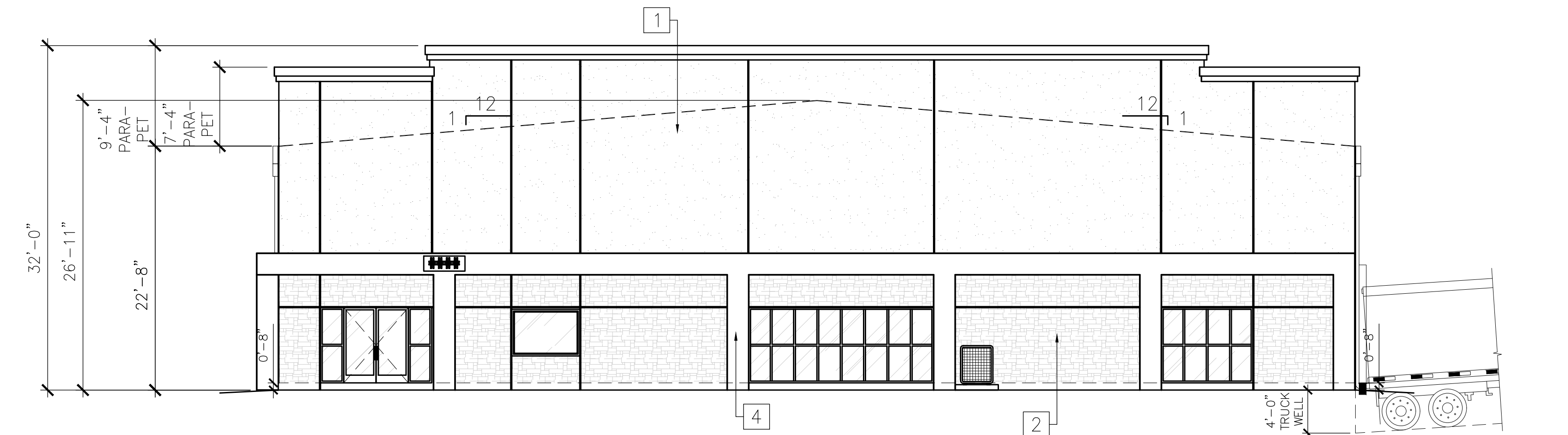
**WEST (FRONT) ELEVATION**

1/8"=1'-0"



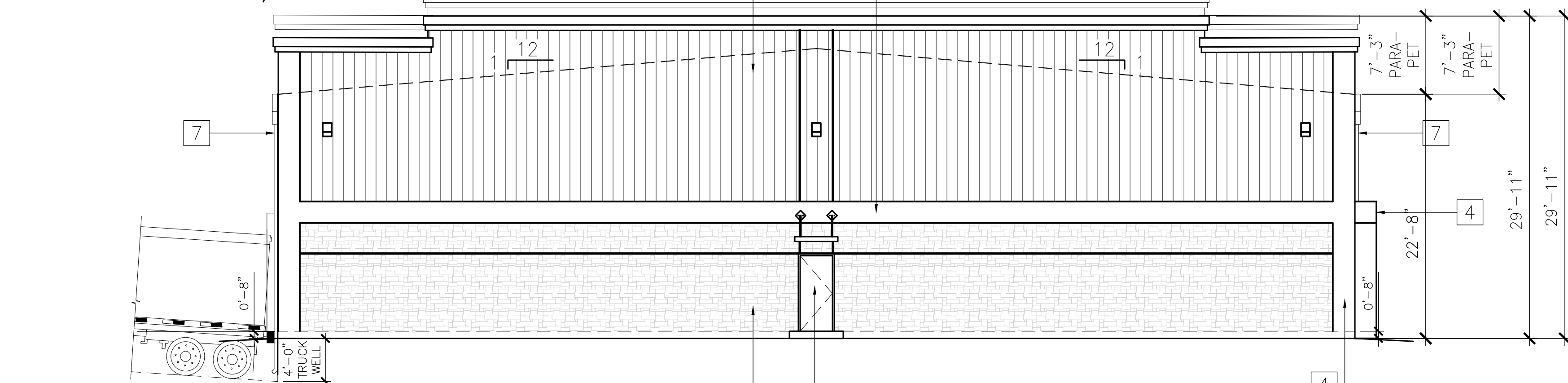
**EAST (REAR) ELEVATION**

1/8"=1'-0"



**SOUTH (RIGHT) ELEVATION**


1/8"=1'-0"



**NORTH (LEFT) ELEVATION**

1/8"=1'-0"

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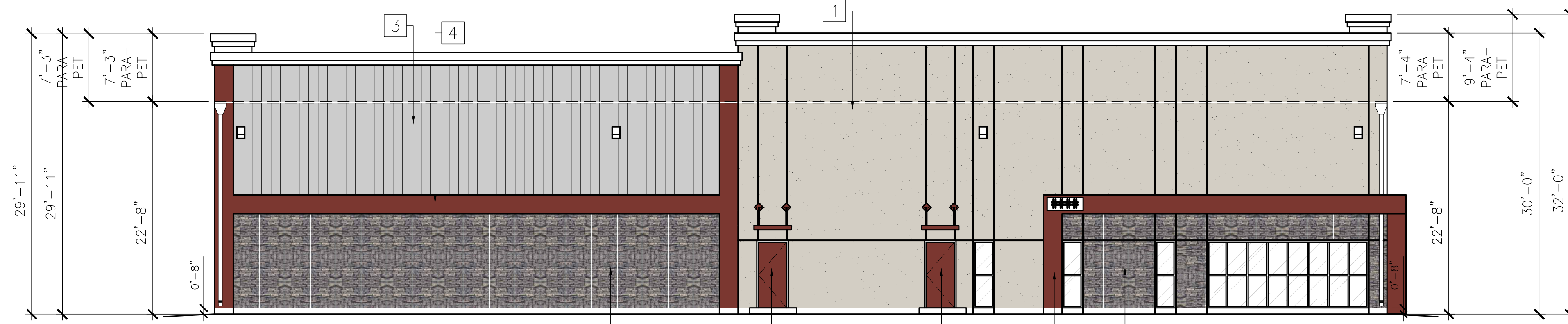
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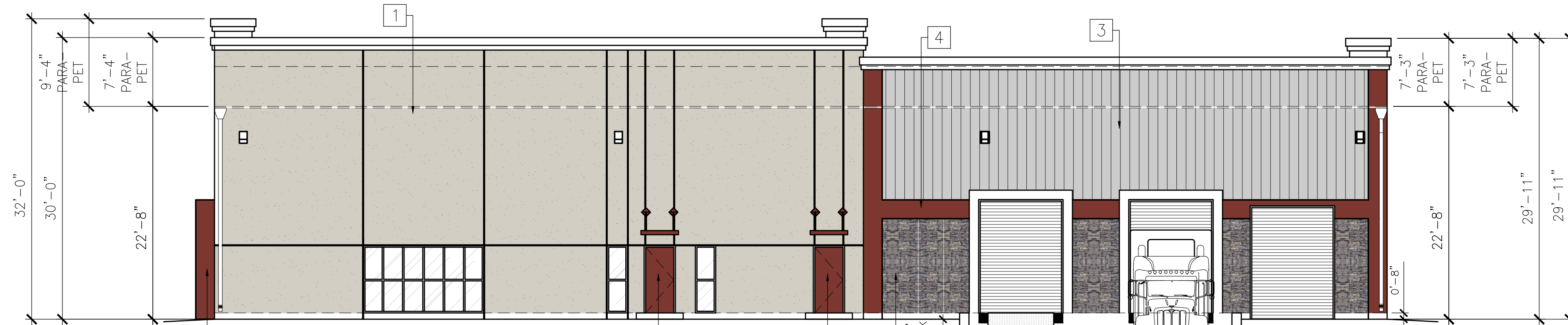
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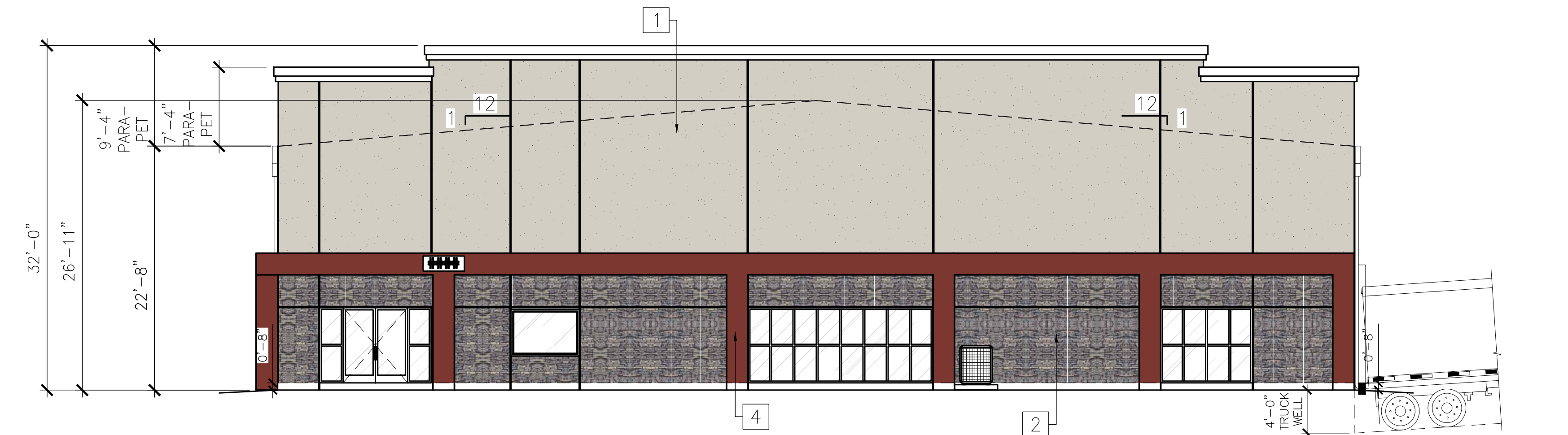
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1/8"=1'-0"



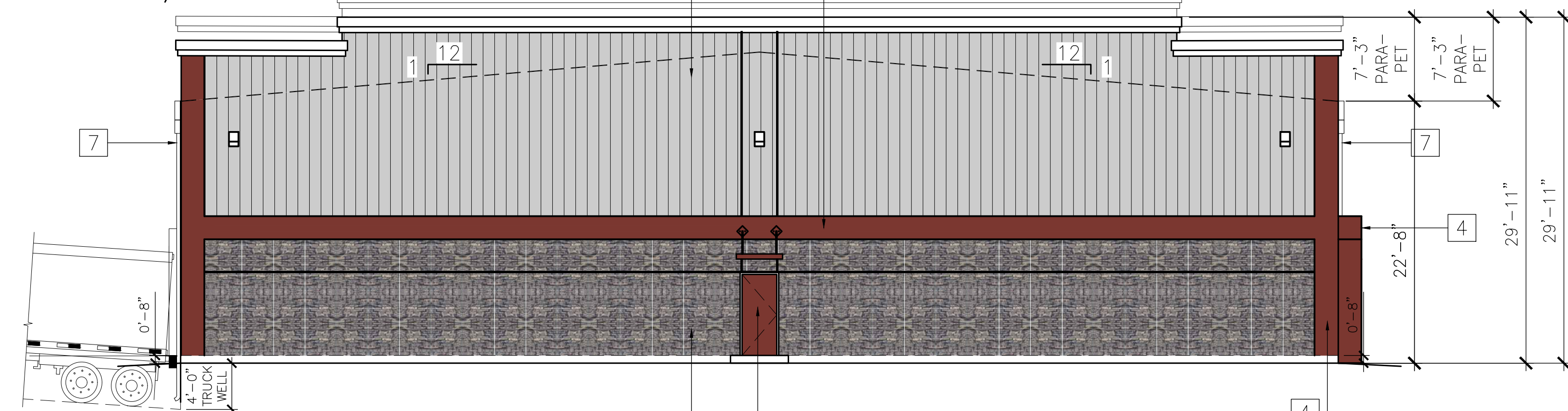
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**NORTH (LEFT) ELEVATION**

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