



# LAND USE SERVICES DEPARTMENT ZONING ADMINISTRATOR STAFF REPORT

**HEARING DATE: September 25, 2025**

Project Description

**AGENDA ITEM # 3**

Vicinity Map

**APN:** 0466-181-25-0000

**Applicant:** Assurance Development

**Representative:** Samantha Herrman

**Community:** Helendale

**Location:** 15302 N Smithson Road in Helendale, CA 92342

**Project No.:** PROJ-2025-00068

**Staff:** Valerie Flores, Planner II

**Proposal:** Helendale Community Services District Cell Tower - Minor Use Permit to construct a T-Mobile telecommunications facility, installing a 120-foot faux windmill tower with 12 panel antennas, 1 microwave antenna, 1 GPS antenna, 1 back-up diesel generator, and space for two additional carriers to co-locate. All related equipment to be enclosed within a 6-foot-tall chain-link enclosure on a 3,375 SQ FT lease area of a 37.39-acre parcel.

57 hearing Notices Sent On: September 15, 2025

*Report Prepared By: Valerie Flores, Planner II*



## SITE INFORMATION

**Parcel Size :** 37.39-acres

**Terrain:** Flat

**Vegetation:** Native

## SURROUNDING LAND DESCRIPTION:

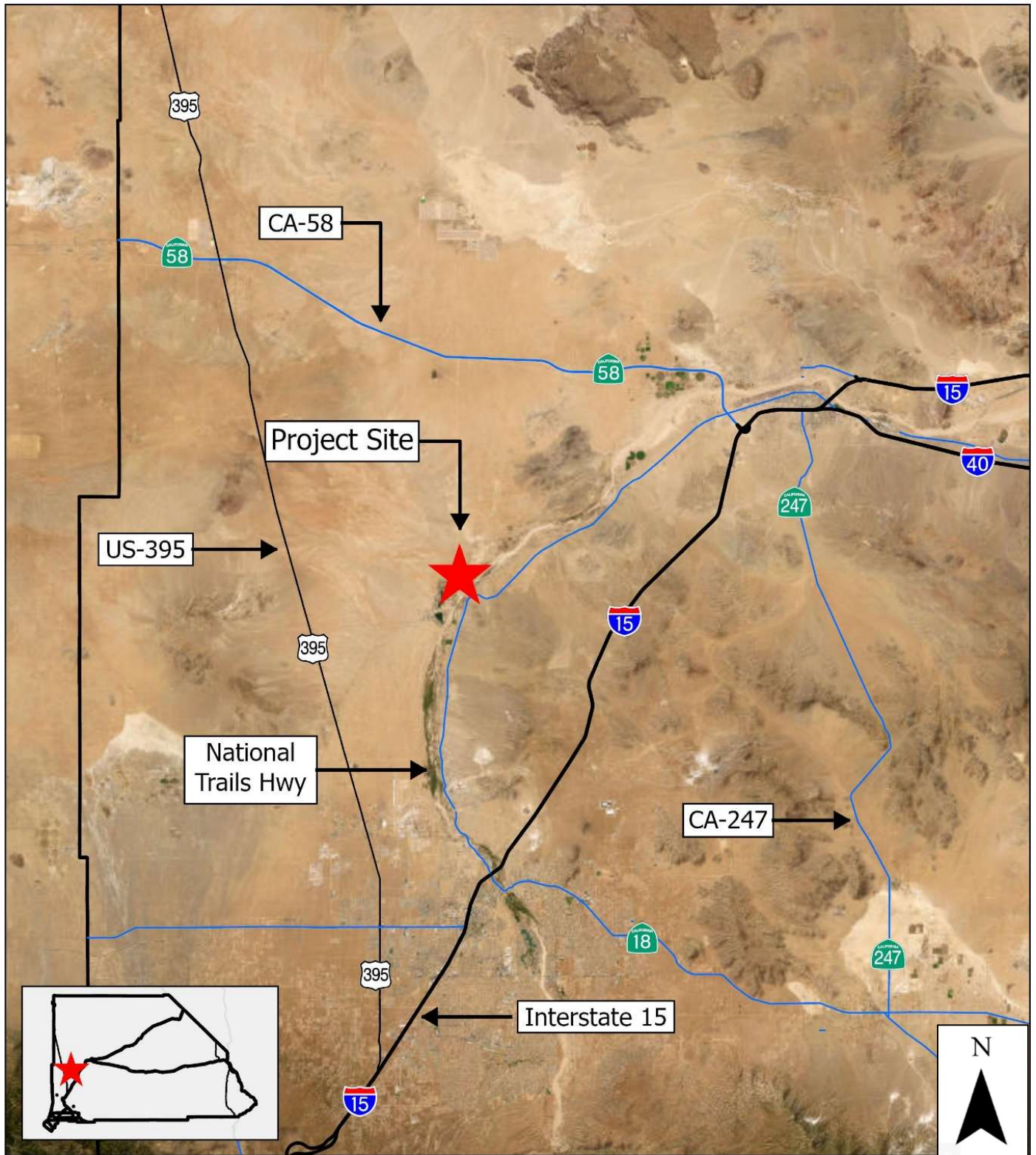
AREA	EXISTING LAND USE	LAND USE CATEGORY	LAND USE ZONING DISTRICT
Site	Single Family Residences	Public Facility (PF)	Rural Living-5-Acre Minimum (RL-5)
North	Community Park	Public Facility (PF)	Rural Living-5-Acre Minimum (RL-5)
South	RV Park	Commercial (C)	Single Residential (RS)
East	Solar Farm	Resource/Land Management (RLM)	Rural Living-5-Acre Minimum (RL-5)
West	Vacant	Rural Living (RL)	Rural Living-5-Acre Minimum (RL-5)

	<u>AGENCY</u>	<u>COMMENT</u>
City Sphere of Influence:	N/A	N/A
Water Service:	N/A	Dry Project
Sewer Service:	N/A	Dry Project

**STAFF RECOMMENDATION:** That the Zoning Administrator **APPROVE** the Minor Use Permit to construct a T-Mobile telecommunications facility, installing a 120-foot faux windmill tower with 12 panel antennas, 1 microwave antenna, 1 GPS antenna, 1 back-up diesel generator, and space for two additional carriers to co-locate. All related equipment to be enclosed within a 6-foot-tall chain-link enclosure on a 3,375 SQ FT lease area of a 37.39-acre parcel. **ADOPT** the Findings as contained in the Staff Report; and **FILE** the Notice of Exemption. **APPEAL:** In accordance with Section 86.08.010 of the San Bernardino County Development Code, this action may be appealed to the Planning Commission.

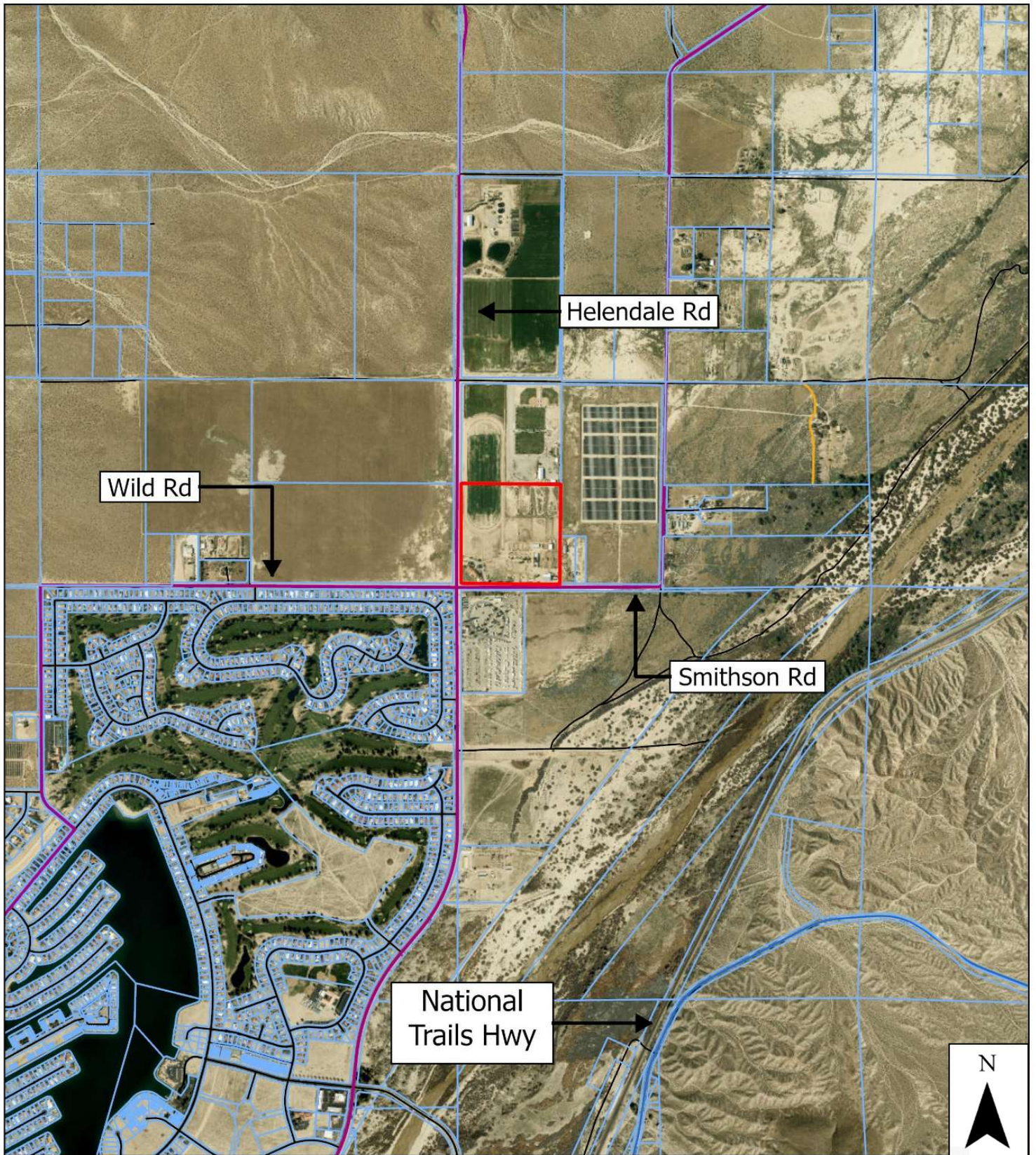
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## REGIONAL LOCATION MAP



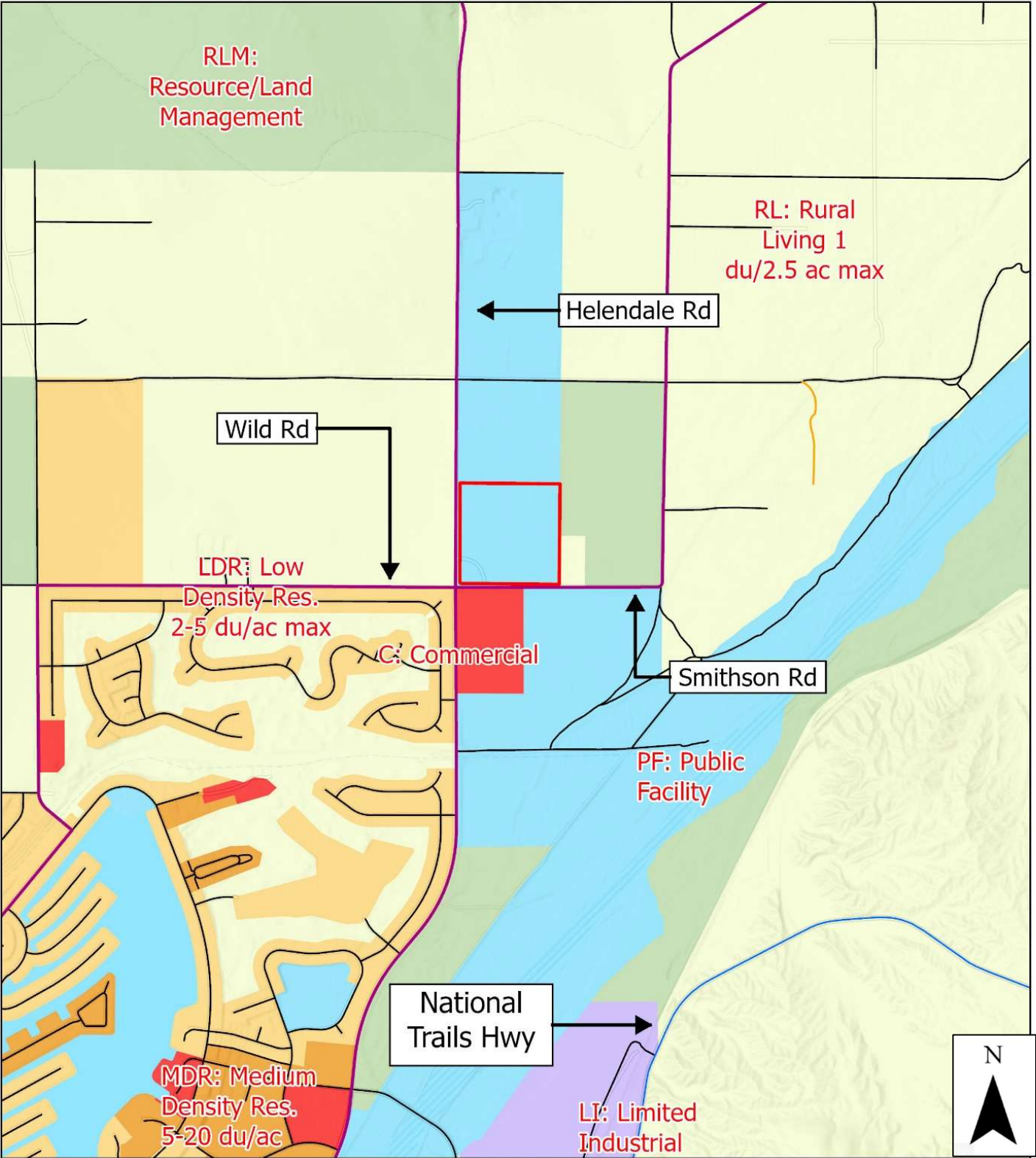


## VICINITY MAP

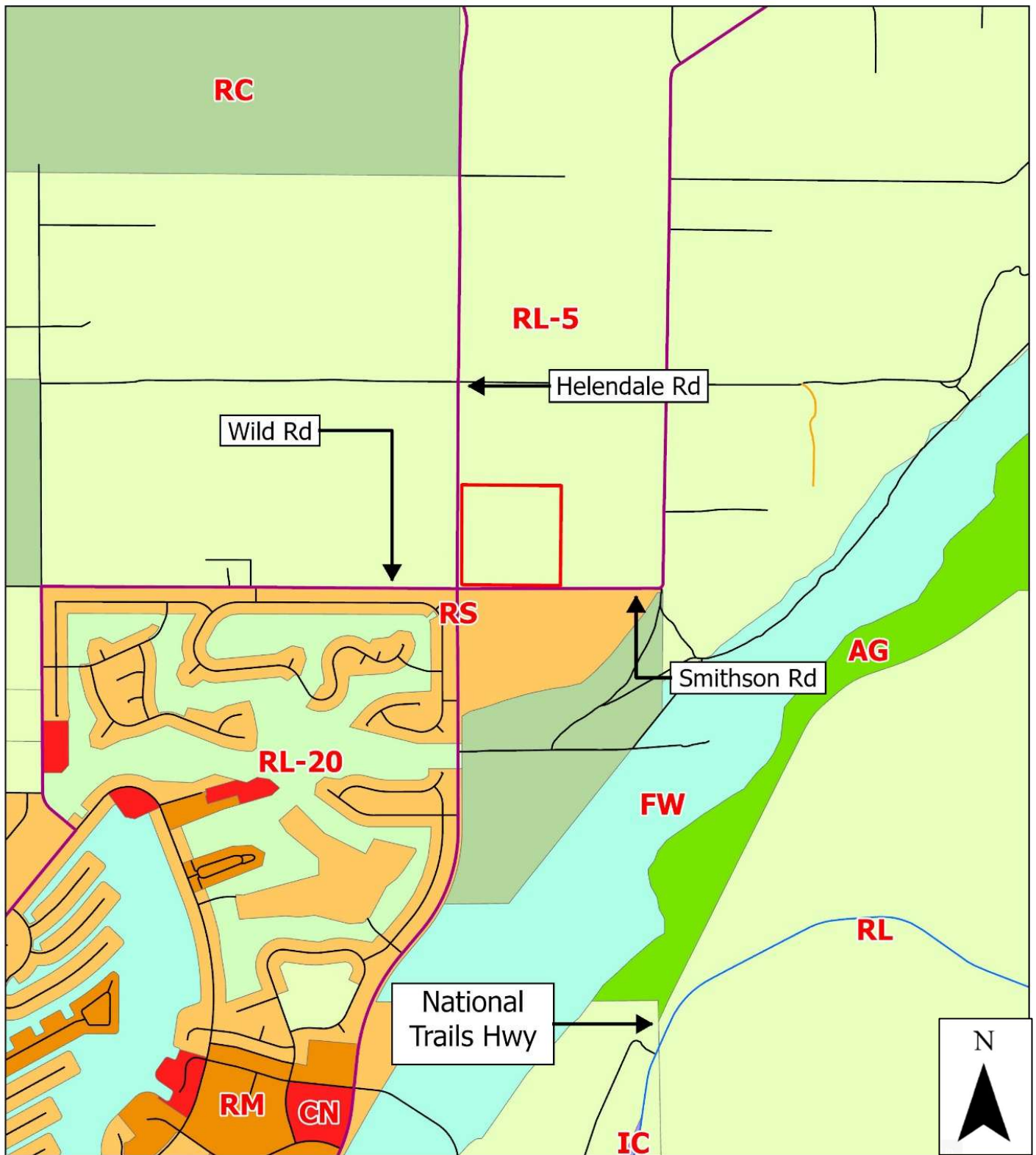




LAND USE CATEGORY MAP



## ZONING DISTRICT MAP





SITE PHOTOS and PHOTO SIMULATIONS

Existing and Proposed  
View 1: Looking Northeast from Smithson Road

AERIAL MAP

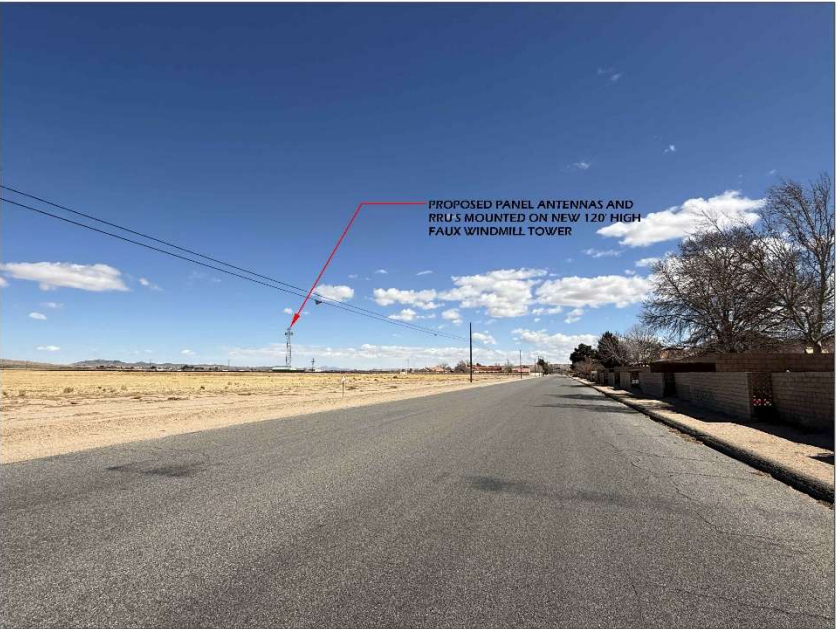


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EXISTING



PROPOSED



DISCLAIMER: THIS IS A RENDERING REPRESENTATION OF THE PROPOSED PROJECT ONLY

PHOTO PROVIDED BY: ASSURANCE DEVELOPMENT

 CONTACT: JAMES W. EMAIL: JAMES@DRAFTLINK.COM PHONE: 800.222.2222 WWW.DRAFTLINK.COM		NO.	DATE	REVISIONS	BY
		0	6/17/25	ISSUED FOR SUBMITTAL	JBY
	 15302 SMITHSON ROAD HELENDALE, CA 92342	VIEW		SHEET	
		A		1 / 4	

Existing and Proposed  
View 2: Looking North from Helendale Road

AERIAL MAP

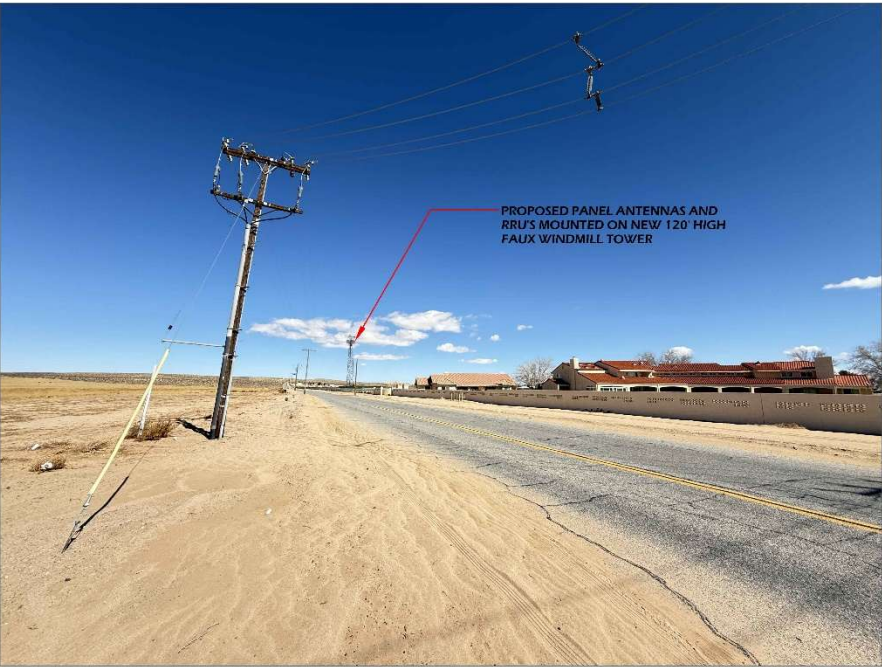


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EXISTING



PROPOSED



PROPOSED PANEL ANTENNAS AND  
RRUs MOUNTED ON NEW 120' HIGH  
FAUX WINDMILL TOWER

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PHOTO PROVIDED BY: ASSURANCE DEVELOPMENT

**DRAPTLINK**  
CONTACT: JONAS KU  
PHONE: 916.719.5510  
WWW.DRAPTLINK.COM

**AD**  
ASSURANCE  
DEVELOPMENT

NO.	DATE	REVISIONS	BY
1	6/17/25	ISSUED FOR SUBMITTAL	JFY



**US-CA-5468**  
**HELENDALE**  
15302 SMITHSON ROAD  
HELENDALE, CA 92342

VIEW	SHEET
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Existing and Proposed

View 3: Looking Northwest from Smithson Road

AERIAL MAP



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EXISTING



PROPOSED



PROPOSED PANEL ANTENNAS AND  
RRU'S MOUNTED ON NEW 120' HIGH  
FAUX WINDMILL TOWER

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HELENDALE, CA 92342

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Existing and Proposed

View 4: Looking South from Helendale Road

AERIAL MAP



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EXISTING



PROPOSED



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**DRAFTLINK**  
CONTACT: JAMES XU  
EMAIL: JAMES@DRAFTLINK.COM  
PHONE: 907-222-1855  
WWW.DRAFTLINK.COM

**AD**  
ASSURANCE  
DEVELOPMENT

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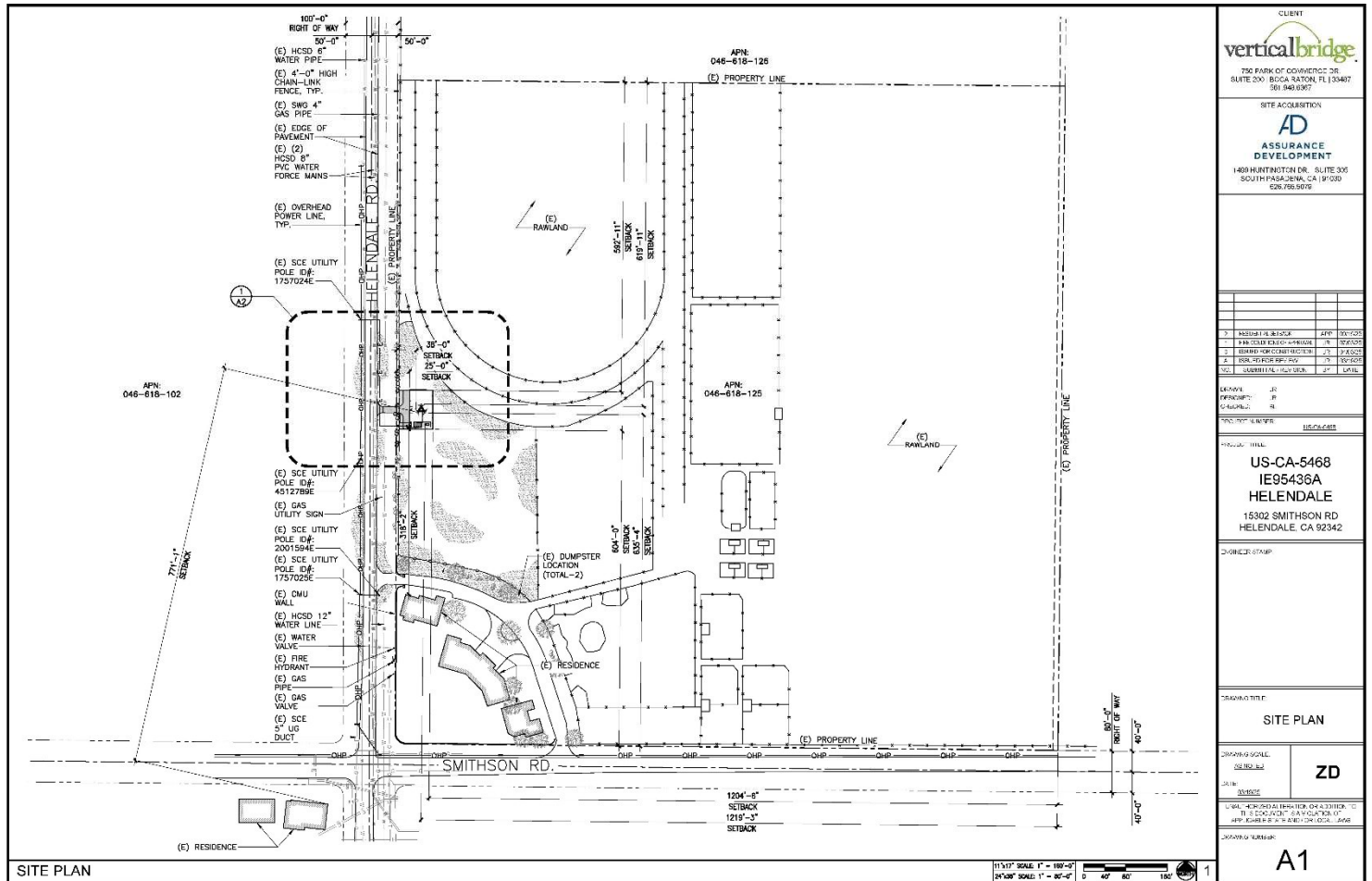


**US-CA-5468**  
**HELENDALE**  
15302 SMITHSON ROAD  
HELENDALE, CA 92342

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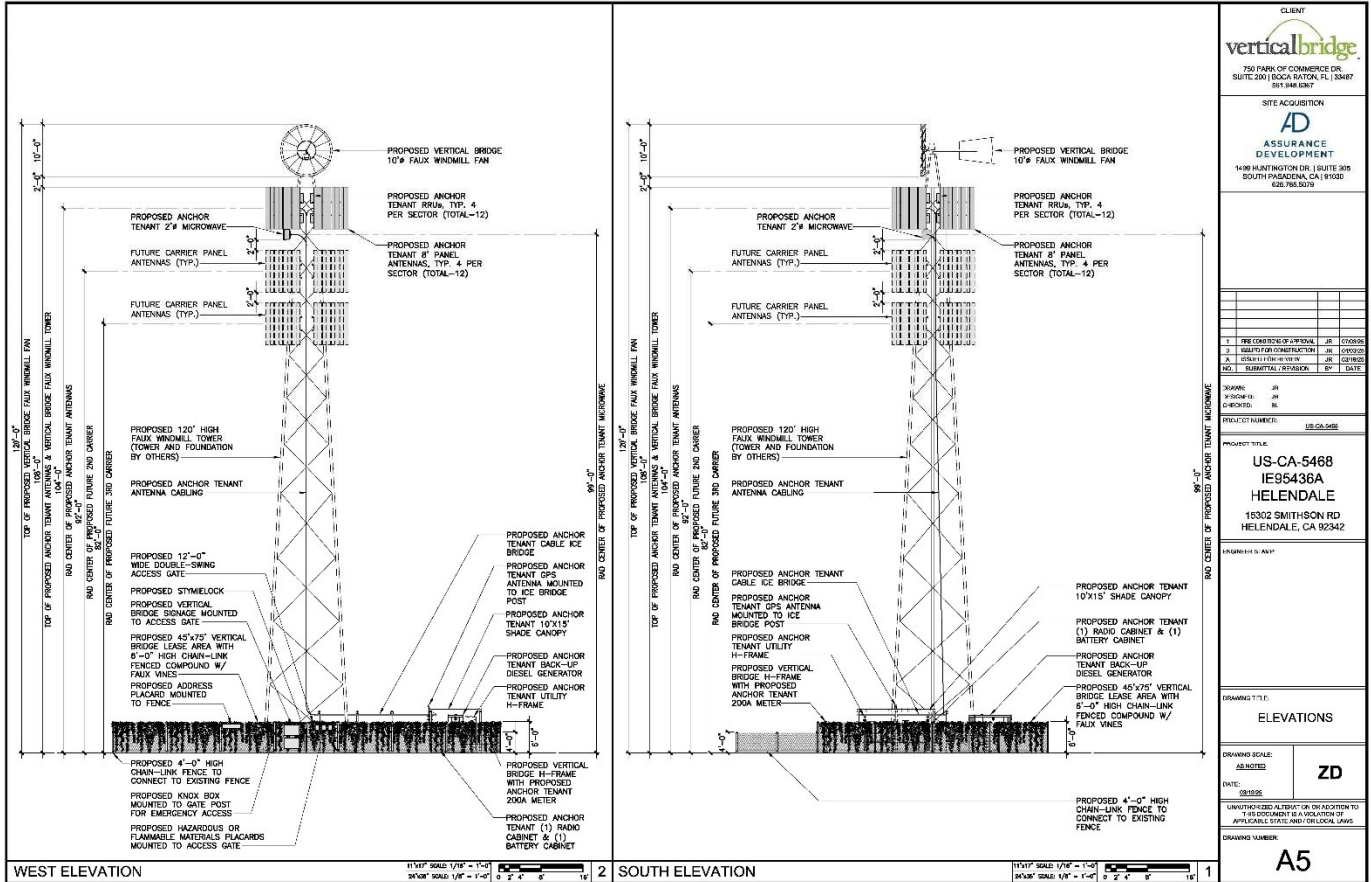


## ***SITE PLAN***



# ELEVATIONS

## WEST AND SOUTH ELEVATION





## **PROJECT DESCRIPTION AND BACKGROUND**

Helendale Community Services District Cell Tower - Minor Use Permit to construct a T-Mobile wireless telecommunications facility, installing a 120-foot faux windmill tower with 12 panel antennas, 1 microwave antenna, 1 GPS antenna, 1 back-up diesel generator, 1 shade canopy, and space for two additional carriers to co-locate. All related equipment to be enclosed within a 6-foot-tall chain-link enclosure on a 3,375 SQ FT lease area of a 37.39-acre parcel; located at 15302 North Smithson Road in Helendale, CA 92342; within the Public Facility (PF) Land Use Category and Rural Living- 5-acre minimum (RL-5) Zoning District; 1st Supervisorial District; APN: 0466-181-25; Project Number: PROJ-2025-00068

## **PUBLIC PROJECT NOTICES**

The Planning Division mailed 57 Project Notices on August 07, 2025. No comments were received.

## **PUBLIC HEARING NOTICES**

The Planning Division mailed 57 Project Notices on September 15, 2025. No comments were received.

## **PROJECT ANALYSIS:**

Site Planning: The subject property is in the Public Facility (PF) Land Use Category and Rural Living-5-Acre Minimum (RL-5) Zoning District.

According to Table LU-1. Land Use Categories of the Countywide Plan, the Rural Living Land Use Category allows public and quasi-public facilities such as parks, religious facilities, schools, sheriff stations, and fire stations. A Wireless Telecommunications Facility is considered a compatible use when all development code standards can be met.

According § 84.27.060 Review Procedures, (a) *Conditional Use Permit Required*. All wireless telecommunications facility projects shall be subject to a Conditional Use Permit/Minor Use Permit in compliance Chapter 85.06 (Conditional Use Permit/Minor Use Permit), with controversial projects requiring a public hearing before the Commission. Projects shall not be considered controversial solely based on radio frequency emissions for all wireless telecommunications facilities. A Minor Use Permit is required for a Wireless Telecommunications facility in the Rural Living-5-Acre Minimum (RL-5) Zoning District.

Development Code Compliance Summary: The project satisfies all applicable development standards of the Development Code in the Rural Living-5-Acre Minimum (RL-5) Zoning District, as described in the following table:

**Table 1 Project Code Compliance**

<b>Project Component</b>	<b>Development Code Standard</b>	<b>Project Plans</b>
Chapter 84.27 <b>Wireless Telecommunication Facilities</b>	Minor Use Permit	Minor Use Permit
<b>Structure Height</b> § 84.27.030	120 feet	120 feet
<b>Separation from Residences</b> § 84.27.040	300 feet	318 feet on-site 771 feet off-site
<b>Minimizing Impacts</b> §84.27.050 <i>(b) Separation from Existing Facility</i>	2,000 feet from another visible telecommunications facility	No telecommunications facility within 2,000 feet
<b>Project Notices</b> § 84.27.070	Rural Areas - 1,320 feet	August 7, 2025 57 project notices 1,320 feet

**SEPARATION FROM RESIDENCES § 84.27.040**

Separation from Residence: According to Section 84.27.040, telecommunication towers and antennas shall not be located closer than 300 feet or a distance equal to 200 percent of the height of the tower, whichever is greater, from an off-site residence. The nearest residence is located on-site at 318 feet away; the nearest off-site residence is located 771 feet away. The project meets this development standard.

**MINIMIZING IMPACTS § 84.27.050**

Separation from Other Facility: According to Section 84.27.050 (b), no telecommunications facility or antenna that is visible to the public from off the applicant's property shall be installed closer than 2,000 feet from another visible telecommunications facility or antenna without a variance, unless it is a co-location or joint location facility. This provision shall not apply to situations where either the existing or the proposed telecommunications facility or antenna within 2,000 feet uses a camouflage or stealth design approved by the County. There is no colocation option available within 2,000 feet of the proposed project.

Ridgeline Sites: According to Section 84.27.050 (c), telecommunication facilities in areas of high visibility within sensitive viewsheds shall be sited below the ridgeline as viewed from a distance and designed to minimize their profile (e.g., screened, depressed, or located behind berms, trees, etc.). The proposed project is not in an area of high visibility within sensitive viewsheds.

Non-Reflective Colors: According to Section 84.27.050 (d), Structures, poles, towers, antenna supports, antennas and other components of each telecommunication site shall be treated with non-reflective colors to provide concealment of the facilities. The proposed wireless facility is a 120-foot-tall faux windmill tower, non-reflective color.

Camouflaging: According to Section 84.27.050 (e), for facilities that are not stealth, telecommunication facilities and antennas and ground equipment shall blend with the



predominant viewing background to the maximum extent practical, except when the treatment does not comply with Federal Aviation Authority (FAA) requirements. The proposed project would be enclosed within a six-foot-high chain link fence with faux vines to help blend appropriately. The windmill design was approved by the property owner.

### **ENVIRONMENTAL REVIEW:**

California Environmental Quality Act (CEQA): All projects are subject to the provisions of CEQA and must be reviewed for compliance. Planning Staff determined that the Project proposal qualifies for a Class 3 Categorical Exemption under Section 15303 of CEQA which applies to the new construction and location of small structures and appurtenant equipment. Therefore, the filing of a Notice of Exemption is recommended. The exemption prepared for this project reflects the Planning Division's independent judgment in making this determination.

**RECOMMENDATION:** Staff recommends that the Zoning Administrator:

- 1) **FIND** the project Exempt from CEQA per Section 15303.
- 2) **APPROVE** Minor Use Permit to allow for the construction and operation of a 120-foot faux windmill tower, 12 panel antennas, 1 microwave antenna, 1 GPS antenna, 1 diesel generator, 6-foot-tall chain-link enclosure, and space for two additional carriers to co-locate; and
- 3) **ADOPT** the Findings and Conditions of Approval as included with the Staff Report; and
- 4) **DIRECT** staff to file a Notice of Exemption in accordance with the California Environmental Quality Act.

### **ATTACHMENTS:**

**EXHIBIT A:** Findings  
**EXHIBIT B:** Conditions of Approval  
**EXHIBIT C:** Project Plans  
**EXHIBIT D:** Notice of Exemption

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## **EXHIBIT A: FINDINGS**

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**FINDINGS: MINOR USE PERMIT**

**HELENDALE COMMUNITY SERVICES DISTRICT CELL TOWER - MINOR USE PERMIT TO CONSTRUCT A T-MOBILE WIRELESS TELECOMMUNICATIONS FACILITY, INSTALLING A 120-FOOT FAUX WINDMILL TOWER WITH 12 PANEL ANTENNAS, 1 MICROWAVE ANTENNA, 1 GPS ANTENNA, 1 BACK-UP DIESEL GENERATOR, 1 SHADE CANOPY, AND SPACE FOR TWO ADDITIONAL CARRIERS TO CO-LOCATE. ALL RELATED EQUIPMENT TO BE ENCLOSED WITHIN A 6-FOOT-TALL CHAIN-LINK ENCLOSURE ON A 3,375 SQ FT LEASE AREA OF A 37.39-ACRE PARCEL; LOCATED AT 15302 NORTH SMITHSON ROAD IN HELENDALE, CA 92342; ON 37.39 ACRES; WITHIN THE PUBLIC FACILITY (PF) LAND USE CATEGORY AND RURAL LIVING- 5-ACRE MINIMUM (RL-5) ZONING DISTRICT; 1ST SUPERVISORIAL DISTRICT; APN: 0466-181-25; PROJECT NUMBER: PROJ-2025-00068**

The following Chapter 85.06.040(a) *General findings for all Use Permits (Conditional and Minor)* must be made in the affirmative in order to approve the Project's Minor Use Permit:

- 1. THE SITE FOR THE PROPOSED USE IS ADEQUATE IN TERMS OF SHAPE AND SIZE TO ACCOMMODATE THE PROPOSED USE AND ALL LANDSCAPING, OPEN SPACE, SETBACKS, WALLS AND FENCES, YARDS, AND OTHER REQUIRED FEATURES PERTAINING TO THE APPLICATION.**

The 37.39-acre parcel is adequate size and shape to accommodate the 120-foot-tall faux windmill tower and all landscaping, open space, setbacks, walls and fences, yards, and other required features pertaining to the application. There is adequate space onsite to accommodate the enclosure with appropriate screening and setbacks. The facility complies with the minimum 300-foot separation from the nearest single-family home. The facility complies with the required 2,000-foot separation requirement from another wireless communications facility.

- 2. THE SITE FOR THE PROPOSED USE HAS ADEQUATE ACCESS, WHICH MEANS THAT THE SITE DESIGN INCORPORATES APPROPRIATE STREET AND HIGHWAY CHARACTERISTICS TO SERVE THE PROPOSED USE.**

The proposed project is accessible from Helendale Road and Smithson Road. Helendale and Smithson Road have an appropriate street dedication to serve the proposed wireless communications facility. Helendale and Smithson Road are also County-maintained roads.

- 3. THE PROPOSED USE WILL NOT HAVE A SUBSTANTIAL ADVERSE EFFECT ON ABUTTING PROPERTY OR THE ALLOWED USE OF THE ABUTTING PROPERTY, WHICH MEANS THE USE WILL NOT GENERATE EXCESSIVE NOISE, TRAFFIC, VIBRATION, LIGHTING, GLARE, OR OTHER DISTURBANCE.**

The proposed wireless facility is located on a 37.39-acre parcel. The nearest residence is located on-site approximately 318 feet away from the proposed wireless facility. The nearest off-site residence is located 771 feet southwest of the proposed wireless facility. Furthermore, the proposed wireless facility would only receive maintenance as needed, which would not generate excessive noise, traffic, light, glare, or other disturbances. Therefore, the use would not have adverse effects on abutting properties.

**4. THE PROPOSED USE AND MANNER OF DEVELOPMENT ARE CONSISTENT WITH THE GOALS, MAPS, POLICIES, AND STANDARDS OF THE COUNTY GENERAL PLAN AND ANY APPLICABLE COMMUNITY OR SPECIFIC PLAN.**

The proposed wireless telecommunications facility is consistent with the goals, policies, standards and maps of the Countywide Plan. The project specifically implements the following San Bernardino County General Plan goals and policies: IU-5.2; "County encourage the expansion of advanced mobile and fixed wireless communication technologies that improve service, coverage, and reliability throughout the county." and IU-5.6, an intent to "County encourage infrastructure, telecommunication, and utility planning and projects to coordinate so that improvements are made concurrently or in such a manner that minimizes disruption to right-of-way and reduces costs." thus reducing dependency on non-renewable energy sources.

**5. THERE IS SUPPORTING INFRASTRUCTURE, EXISTING OR AVAILABLE, CONSISTENT WITH THE INTENSITY OF THE DEVELOPMENT, TO ACCOMMODATE THE PROPOSED PROJECT WITHOUT SIGNIFICANTLY LOWERING SERVICE LEVELS.**

There is supporting infrastructure available to accommodate the proposed development without significantly lowering service levels. The unmanned nature of the proposed project and its limited scope of activities will only minimally increase service demands. Due to the periodic nature of inspection and maintenance trips created by this proposal, no potentially significant adverse impacts are anticipated.

**6. THE LAWFUL CONDITIONS STATED IN THE APPROVAL ARE DEEMED REASONABLE AND NECESSARY TO PROTECT THE OVERALL PUBLIC HEALTH, SAFETY AND GENERAL WELFARE.**

This facility was reviewed and conditioned by various County agencies to ensure compliance with County development standards. All related equipment will be integrated with the proposed facility and will be screened from view. Therefore, the conditions stated in the approval are deemed necessary to protect the overall public health, safety and general welfare

**7. THE DESIGN OF THE SITE HAS CONSIDERED THE POTENTIAL FOR THE USE OF SOLAR ENERGY SYSTEMS AND PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES.**

The proposed facility will not utilize solar energy for power. However, the sites design will allow for the placement of solar energy systems, if needed in the future. Placement of solar energy would be subject to its own entitlement process.

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**ADDITIONAL MINOR USE PERMIT FINDINGS:**

**8. THERE ARE NO CIRCUMSTANCES THAT WOULD RESULT IN STANDARDS OR CONDITIONS NOT BEING ABLE TO ADEQUATELY MITIGATE ENVIRONMENTAL IMPACTS.**

A Notice of Exemption has been prepared in compliance with the California Environmental Quality Act and represents the independent judgment of the County acting as lead agency for the project. The Project meets the Categorical Exemption guidelines and has been determined to be exempt from the provisions of the California Environmental Quality Act because the project consists of the construction of limited numbers of new structures and installation of small new equipment and facilities, per section 15303: "New Construction or Conversion of Small Structures.

**9. THE PROJECT IS PLANNED FOR IMMEDIATE DEVELOPMENT AND DOES NOT INCLUDE A PHASED DEVELOPMENT.**

The project is planned for immediate development and does not include any future, phased development.

**10. THE PROJECT IS NOT LIKELY TO RESULT IN CONTROVERSY.**

No comments were received during the public comment period.

**FINDINGS: CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

**11. THE PROJECT WILL NOT HAVE A SIGNIFICANT ADVERSE IMPACT ON THE ENVIRONMENT, SUBJECT TO THE IMPLEMENTATION OF THE PROPOSED CONDITIONS OF APPROVAL AND MITIGATION MEASURES.**

The project was determined to be exempt from the California Environmental Quality Act as noted above. The Project will not have a significant adverse impact on the environment with the implementation of the required conditions of approval.

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## **EXHIBIT B: CONDITIONS OF APPROVAL**

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## Conditions of Approval

<b>Record:</b>	PROJ-2025-00068	<b>System Date:</b>	09/19/2025
<b>Record Type:</b>	Project Application	<b>Primary APN:</b>	0466181250000
<b>Record Status:</b>	Decision Pending	<b>Application Name:</b>	HELENDALE COMMUNITY SERVICES DISTRICT CELL TOWER - MINOR USE PERMIT (TELECOMMUNICATION)
<b>Effective Date:</b>	10/06/2025	<b>Expiration Date:</b>	10/06/2028
<b>Description:</b>	HELENDALE COMMUNITY SERVICES DISTRICT CELL TOWER - MINOR USE PERMIT TO CONSTRUCT A T-MOBILE WIRELESS TELECOMMUNICATIONS FACILITY, INSTALLING A 120-FOOT FAUX WINDMILL TOWER WITH 12 PANEL ANTENNAS, 1 MICROWAVE ANTENNA, 1 GPS ANTENNA, 1 BACK-UP DIESEL GENERATOR, 1 SHADE CANOPY, AND SPACE FOR TWO ADDITIONAL CARRIERS TO CO-LOCATE. ALL RELATED EQUIPMENT TO BE ENCLOSED WITHIN A 6-FOOT-TALL CHAIN-LINK ENCLOSURE ON A 3,375 SQ FT LEASE AREA OF A 37.39-ACRE PARCEL; LOCATED AT 15302 NORTH SMITHSON ROAD IN HELENDALE, CA 92342; WITHIN THE PUBLIC FACILITY (PF) LAND USE CATEGORY AND RURAL LIVING- 5-ACRE MINIMUM (RL-5) ZONING DISTRICT; 1ST SUPERVISORIAL DISTRICT; APN: 0466-181-25; PROJECT NUMBER: PROJ-2025-00068		

**This document does not signify project approval.**

If the project has been approved, then an effective date and an expiration date for these conditions can be found below. This content reflects County records as at the System Date and time below.

The following conditions of approval have been imposed for the project identified below. The applicant/developer shall complete all conditions of approval stipulated in the approval letter.

Conditions of Approval are organized by project phase, then by status, and finally by department imposing the condition.

On-going conditions must be complied with at all times. For assistance interpreting the content of this document, please contact the Land Use Services Department Planning Division.

Contact information is provided at the end of this document for follow-up on individual conditions.

## ON-GOING

### Land Use Services - Planning

1 **Project Approval Description (CUP/MUP)** - Status: Outstanding

This Minor Use Permit is conditionally approved to construct a T-Mobile wireless telecommunications facility, installing a 120-foot faux windmill tower with 12 panel antennas, 1 microwave antenna, 1 GPS antenna, 1 back-up diesel generator, 1 shade canopy, and space for two additional carriers to co-locate. All related equipment to be enclosed within a 6-foot-tall chain-link enclosure on a 3,375 SQ FT lease area of a 37.39-acre parcel, in compliance with the San Bernardino County Code (SBCC), California Building Codes (CBC), the San Bernardino County Fire Code (SBCFC), the following Conditions of Approval, the approved site plan, and all other required and approved reports and displays (e.g. elevations). The developer shall provide a copy of the approved conditions and the approved site plan to every current and future project tenant, lessee, and property owner to facilitate compliance with these Conditions of Approval and continuous use requirements for the Project.

2 **Project Location** - Status: Outstanding

The Project site is located at 15302 N Smithson Road in Helendale, CA 92342

3 **Revisions** - Status: Outstanding

Any proposed change to the approved Project and/or conditions of approval shall require that an additional land use application (e.g. Revision to an Approved Action) be submitted to County Land Use Services for review and approval.

4 **Indemnification** - Status: Outstanding

In compliance with SBCC §81.01.070, the developer shall agree, to defend, indemnify, and hold harmless the County or its "indemnitees" (herein collectively the County's elected officials, appointed officials (including Planning Commissioners), Zoning Administrator, agents, officers, employees, volunteers, advisory agencies or committees, appeal boards or legislative body) from any claim, action, or proceeding against the County or its indemnitees to attack, set aside, void, or annul an approval of the County by an indemnitee concerning a map or permit or any other action relating to or arising out of County approval, including the acts, errors or omissions of any person and for any costs or expenses incurred by the indemnitees on account of any claim, except where such indemnification is prohibited by law. In the alternative, the developer may agree to relinquish such approval. Any condition of approval imposed in compliance with the County Development Code or County General Plan shall include a requirement that the County acts reasonably to promptly notify the developer of any claim, action, or proceeding and that the County cooperates fully in the defense. The developer shall reimburse the County and its indemnitees for all expenses resulting from such actions, including any court costs and attorney fees, which the County or its indemnitees may be required by a court to pay because of such action. The County may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the developer of their obligations under this condition to reimburse the County or its indemnitees for all such expenses. This indemnification provision shall apply regardless of the existence or degree of fault of indemnitees. The developer's indemnification obligation applies to the indemnitees' "passive" negligence but does not apply to the indemnitees' "sole" or "active" negligence or "willful misconduct" within the meaning of Civil Code Section 2782.

5 **Additional Permits** - Status: Outstanding

The developer shall ascertain compliance with all laws, ordinances, regulations and any other requirements of Federal, State, County and Local agencies that may apply for the development and operation of the approved land use. These may include but are not limited to a. FEDERAL: b. STATE: c. COUNTY: d. LOCAL:



6 **Expiration** - Status: Outstanding

This project permit approval shall expire and become void if it is not "exercised" within 36 months of the effective date of this approval, unless an extension of time is approved. The permit is deemed "exercised" when either: (a.) The permittee has commenced actual construction or alteration under a validly issued building permit, or (b.) The permittee has substantially commenced the approved land use or activity on the project site, for those portions of the project not requiring a building permit. (SBCC §86.06.060) (c.) Occupancy of approved land use, occupancy of completed structures and operation of the approved and exercised land use remains valid continuously for the life of the project and the approval runs with the land, unless one of the following occurs: - Construction permits for all or part of the project are not issued or the construction permits expire before the structure is completed and the final inspection is approved. - The land use is determined by the County to be abandoned or non-conforming. - The land use is determined by the County to be not operating in compliance with these conditions of approval, the County Code, or other applicable laws, ordinances or regulations. In these cases, the land use may be subject to a revocation hearing and possible termination. PLEASE NOTE: This will be the ONLY notice given of this approval's expiration date. The developer is responsible to initiate any Extension of Time application.

7 **Continuous Effect/Revocation** - Status: Outstanding

All the conditions of this project approval are continuously in effect throughout the operative life of the project for all approved structures and approved land uses/activities. Failure of the property owner or developer to comply with any or all the conditions at any time may result in a public hearing and possible revocation of the approved land use, provided adequate notice, time and opportunity is provided to the property owner, developer or other interested party to correct the non-complying situation.

8 **Project Account** - Status: Outstanding

The Project account number is PROJ-2025-00068. This is an actual cost project with a deposit account to which hourly charges are assessed by various county agency staff (e.g. Land Use Services, Public Works, and County Counsel). Upon notice, the "developer" shall deposit additional funds to maintain or return the account to a positive balance. The "developer" is responsible for all expense charged to this account. Processing of the project shall cease, if it is determined that the account has a negative balance and that an additional deposit has not been made in a timely manner. A minimum balance of \$1,000.00 must be in the project account at the time the Condition Compliance Review is initiated. Sufficient funds must remain in the account to cover the charges during each compliance review. All fees required for processing shall be paid in full prior to final inspection, occupancy and operation of the approved use.

9 **Development Impact Fees** - Status: Outstanding

Additional fees may be required prior to issuance of development permits. Fees shall be paid as specified in adopted fee ordinances

10 **Performance Standards** - Status: Outstanding

The approved land uses shall operate in compliance with the general performance standards listed in the County Development Code Chapter 83.01, regarding air quality, electrical disturbance, fire hazards (storage of flammable or other hazardous materials), heat, noise, vibration, and the disposal of liquid waste

11 **Continuous Maintenance** - Status: Outstanding

The Project property owner shall continually maintain the property so that it is visually attractive and not dangerous to the health, safety and general welfare of both on-site users (e.g. employees) and surrounding properties. The property owner shall ensure that all facets of the development are regularly inspected, maintained and that any defects are timely repaired. Among the elements to be maintained, include but are not limited to a) Annual maintenance and repair: The developer shall conduct inspections for any structures, fencing/walls, driveways, and signs to assure proper structural, electrical, and mechanical safety. b) Graffiti and debris: The developer shall remove graffiti and debris immediately through weekly maintenance. c) Landscaping: The developer shall maintain landscaping in a continual healthy thriving manner at proper height for required screening. Drought-resistant, fire-retardant vegetation shall be used where practicable. Where landscaped areas are irrigated it shall be done in a manner designed to conserve water, minimizing aerial spraying. d) Dust control: The developer shall maintain dust control measures on any undeveloped areas where landscaping has not been provided. e) Erosion control: The developer shall maintain erosion control measures to reduce water runoff, siltation, and promote slope stability. f) External Storage: The developer shall maintain external storage, loading, recycling and trash storage areas in a neat and orderly manner and fully screened from public view. Outside storage shall not exceed the height of the screening walls. g) Metal Storage Containers: The developer shall NOT place metal storage containers in loading areas or other areas unless specifically approved by this or subsequent land use approvals. h) Screening: The developer shall maintain screening that is visually attractive. All trash areas, loading areas, mechanical equipment (including roof top) shall be screened from public view. i) Signage: The developer shall maintain all on-site signs, including posted area signs (e.g. "No Trespassing") in a clean readable condition at all times. The developer shall remove all graffiti and repair vandalism on a regular basis. Signs on the site shall be of the size and general location as shown on the approved site plan or subsequently a County-approved sign plan. j) Lighting: The developer shall maintain any lighting so that they operate properly for safety purposes and do not project onto adjoining properties or roadways. Lighting shall adhere to applicable glare and night light rules. k) Parking and on-site circulation: The developer shall maintain all parking and on-site circulation requirements, including surfaces, all markings and traffic/directional signs in an un-faded condition as identified on the approved site plan. Any modification to parking and access layout requires the Planning Division review and approval. The markings and signs shall be clearly defined, un-faded and legible; these include parking spaces, disabled space and access path of travel, directional designations and signs, stop signs, pedestrian crossing, speed humps and "No Parking", "Carpool", and "Fire Lane" designations. l) Fire Lanes: The developer shall clearly always define and maintain in good condition all markings required by the Fire Department, including "No Parking" designations and "Fire Lane" designations.

12 **Clear Sight Triangle** - Status: Outstanding

Adequate visibility for vehicular and pedestrian traffic shall be provided at clear sight triangles at all 90-degree angle intersections of public rights-of-way and private driveways. All signs, structures and landscaping located within any clear sight triangle shall comply with the height and location requirements specified by County Development Code (SBCC§ 83.02.030) or as otherwise required by County Traffic

13 **Lighting** - Status: Outstanding

Lighting shall comply with Table 83-7 "Shielding Requirements for Outdoor Lighting in the Mountain Region and Desert Region" of the County's Development Code (i.e. "Dark Sky" requirements). All lighting shall be limited to that necessary for maintenance activities and security purposes. This is to allow minimum obstruction of night sky remote area views. No light shall project onto adjacent roadways in a manner that interferes with on-coming traffic. All signs proposed by this project shall only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or in the case of an approved electronic message center sign, an alternating message no more than once every five seconds.

14 **Construction Hours** - Status: Outstanding

Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m., Monday through Saturday in accordance with the County of San Bernardino Development Code standards. No construction activities are permitted outside of these hours or on Sundays and Federal holidays.

15 **Construction Noise** - Status: Outstanding

The following measures shall be adhered to during the construction phase of the project: - All construction equipment shall be muffled in accordance with manufacturer's specifications. - All construction staging shall be performed as far as possible from occupied dwellings. The location of staging areas shall be subject to review and approval by the County prior to the issuance of grading and/or building permits. - All stationary construction equipment shall be placed in a manner so that emitted noise is directed away from sensitive receptors (e.g. residences and schools) nearest the project site.

16 **Abandoned Site Restoration** - Status: Outstanding

A wireless internet facility that is not operated for a continuous period of 12 months shall be considered abandoned. The owners of an abandoned facility shall remove all structures within 90 days of receipt of notice from the County notifying the owner of abandonment. The owner shall return the site to its approximate natural condition. If an abandoned facility is not removed within the 90- day period, the County may remove all such structures at the owner's expense. The applicant shall restore the site to its prior natural condition or as otherwise authorized by the Planning Division. Once the telecommunication company vacates the site, future establishment of the same or similar facility shall require new land use approval through the Planning Division.

17 **FCC Regulations** - Status: Outstanding

The developer of the Telecommunications facility shall always operate the proposed radio/telephone equipment in strict conformance with Federal Communications Commission (FCC) regulations so as not to cause a Public Health and Safety Hazard or nuisance to nearby properties and their radio and television reception. If, in the future, the FCC adopts more stringent Radio Frequency (RF) emission regulations, the developer shall apply to the County of San Bernardino to modify the Conditional Use Permit (CUP) to demonstrate compliance with the revised FCC regulations. Failure by the developer to apply for such a review of the subject CUP to conform to the FCC approval of revised RF emission regulations, shall subject this approval to possible revocation of the approval.

18 **FCC Signage** - Status: Outstanding

All site signage required by the Federal Communications Commission, if any, shall be always maintained in a clean readable condition and all graffiti and vandalism shall be removed and repaired on a regular basis.

19 **Renewable Occupancy** - Status: Outstanding

The occupancy and use of the Telecommunications facility is limited to a renewable 10-year period, in accordance with the required Telecom Facility Agreement. The facility is subject to evaluation, renewal and extension in 10-year increments. Planning staff shall evaluate the applicability of current technology to determine if the facility should be required to be upgraded, continue as approved or be terminated. Planning staff will also evaluate whether the facility remains compatible with adjacent land uses and if any additional buffering and screening measures are appropriate. If planning staff determines that the use should be terminated, then a public hearing before the Planning Commission shall be scheduled to validate the staff determination and to determine a reasonable amortization period. Should the Planning Commission act to terminate the Telecommunications facility use, then it shall no longer be considered valid legal use of the land after the established termination date. The wireless service provider will be granted a minimum of one year from the date of the Planning Commission action to terminate operations. Any unapproved use of the Telecommunications facility beyond the termination date shall be an enforceable violation.

20 **Telecom Tower Removal Surety** - Status: Outstanding

Surety in a form and manner determined acceptable to County Counsel and the Land Use Services Director shall be required for the complete removal of the telecommunication tower and other elements of the facility and submitted to Code Enforcement along with the Special Use Permit (SUP) application. The applicant shall either: a) Post a performance or other equivalent surety bond issued by an admitted surety insurer guaranteeing the complete removal of the telecommunication tower and other elements of the facility in a form or manner determined acceptable to County Counsel and the Land Use Services Director in an amount equal to 120% of the cost estimate therefore provided by a licensed civil engineer and approved by the Land Use Services Director, OR b) Cause the issuance of a certificate of deposit or an irrevocable letter of credit payable to the County of San Bernardino issued by a bank or savings association authorized to do business in this state and insured by the Federal Deposit Insurance Corporation for the purpose of guaranteeing the complete removal of the telecommunication tower and other elements of the facility in a form or manner determined acceptable to County Counsel and the Land Use Services Director in an amount equal to 120% of the cost estimate therefore provided by a licensed civil engineer and approved by the Land Use Services Director.

21 **Telecommunications Facility Agreement** - Status: Outstanding

The developer shall sign and adhere to the terms of a required Telecommunications Facility Agreement, to be completed to the satisfaction of County Counsel and in coordination with County Planning, before this approval is deemed vested for continuous effect and operation. a) TFA – Co-location. The applicant shall sign an agreement with the County that clearly establishes a commitment both in design and policy to allow for future joint use or co-location of other telecommunications facilities at this same cell site. The document will be reviewed and approved by County Planning Staff, enforced through the required SUP, and retained for future reference to allow coordination with future telecommunications providers/networks in this region. b) TFA – Termination. The developer of the Telecommunications facility and the property owner shall sign an agreement with the County which states that they: Agree to terminate the described land use within ten (10) years from its approval, OR as extended, OR before any termination date established through a public hearing before the Planning Commission. Agree that no vested right to such land use shall exist after such termination date is established. Agree not to transfer ownership of the described property or operation rights of this Telecommunications facility without first notifying the prospective purchaser(s) of the provisions, limitations and these "Conditions of Approval" and the "Telecom Facility Agreement" signed to the satisfaction of County Counsel and Planning; and agree that this agreement shall be enforced through a required Special Use Permit.

## Public Health– Environmental Health Services

22 **Noise Levels** - Status: Outstanding

Noise level shall be maintained at or below County Standards, Development Code Section 83.01.080.

23 **Refuse Storage and Disposal** - Status: Outstanding

All refuse generated at the premises shall always be stored in approved containers and shall be placed in a manner so that environmental public health nuisances are minimized. All refuse not containing garbage shall be removed from the premises at least 1 time per week, or as often as necessary to minimize public health nuisances. Refuse containing garbage shall be removed from the premises at least 2 times per week, or as often if necessary to minimize public health nuisances, by a permitted hauler to an approved solid waste facility in conformance with San Bernardino County Code Chapter 8, Section 33.0830 et. seq.

## Public Works - Traffic

24 **Access** - Status: Outstanding

The access point to the facility shall always remain unobstructed, except a driveway access gate which may be closed after normal working hours.

25 **Back Out Into Public Roadways** - Status: Outstanding

Project vehicles shall not back up into the project site nor shall they back out into the public roadway.



## INFORMATIONAL

### County Fire - Community Safety

26 **F01 Jurisdiction** - Status: Outstanding

The above referenced project is under the jurisdiction of the San Bernardino County Fire Department herein "Fire Department". Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.

27 **F04 Fire Permit Expiration** - Status: Outstanding

Construction permits shall automatically expire and become invalid unless the work authorized such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. Suspension or abandonment shall mean that no inspection by the Department has occurred with 180 days of any previous inspection. After a construction permit becomes invalid and before such previously approved work recommences, a new permit shall be first obtained and the fee to recommence work shall be one-half the fee for the new permit for such work, provided no changes have been made or will be made in the original construction documents for such work, and provided further that such suspension or abandonment has not exceeded one year. A request to extend the permit may be made in writing PRIOR TO the expiration date justifying the reason that the permit should be extended.

28 **F08 Fire Safety Overlay** - Status: Outstanding

The County General Plan designates this property as being within the Fire Safety Review Area. All construction shall adhere to all applicable standards and requirements of the Fire Safety Review Area as adopted in the San Bernardino County Development Code.

29 **F15 Access – 30% slope** - Status: Outstanding

Where the natural grade between the access road and building is more than thirty percent (30%), an access road shall be provided within one hundred and fifty (150) feet of all buildings. Where such access cannot be provided, a fire protection system shall be installed. Plans shall be submitted to and approved by the Fire Department.

30 **F49 Cell Towers** - Status: Outstanding

Cell towers that are proposed in a Fire Safety Overlay District with a camouflaged covering [e.g. tree] shall indicate that all such exterior camouflaged coverings shall be of an approved fire resistive material.

31 **F50 PSTS Interference** - Status: Outstanding

Cell site installation and operation of the proposed system shall not cause harmful interference to the County's Public Safety Telecommunications System (PSTS). If it is determined that the system causes harmful interference with PSTS operations the cell tower operations shall cease immediately upon order of the Fire Chief or other County official.

32 **F70 Additional Requirements** - Status: Outstanding

In addition to the Fire requirements stated herein, other onsite and off-site improvements may be required which cannot be determined at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to this office.

**Public Works - Solid Waste Management****33 Community Service District Hauler Service Area - Status: Outstanding**

This project falls within the Helendale Community Service District. If subscribing for the collection and removal of construction and demolition waste from the project site, all developers, contractors, and subcontractors should comply with the Solid Waste collection requirements prescribed through the Helendale Community Service District. Additionally, all owners/occupants of a dwelling or a commercial or industrial unit within the area shall, upon notice thereof, be required to accept the solid waste handling and collection requirements set forth by the Community Service District

**34 Demolition Debris - Status: Outstanding**

San Bernardino County owned and operated sanitary landfills and transfer stations are not permitted to accept asbestos contaminated wastes, therefore any debris generated by the demolition of structures are subject to asbestos clearance prior to disposal at any San Bernardino County disposal sites. Applicants are required to have a Certified Asbestos Consultant perform testing of all materials to be disposed. Upon receipt of the Consultant's report, indicating that the debris is not contaminated, Solid Waste Management Operations Section will provide applicant with disposal authorization. For more information on Certified Asbestos Consultants please visit <http://www.dir.ca.gov/databases/doshacru/acruList.asp>, or for information on County requirements please contact Solid Waste Operations at 909-386-8701 or [solid.wastemail@dpw.sbcounty.gov](mailto:solid.wastemail@dpw.sbcounty.gov).

**PRIOR TO LAND DISTURBANCE****Land Use Services - Building and Safety****35 Geotechnical Report - Status: Outstanding**

A geotechnical (soil) report shall be submitted to the Building and Safety Division for review and approval prior to issuance of grading permits or land disturbance.

**Public Health– Environmental Health Services****36 Vector Control Requirement - Status: Outstanding**

The project area has a high probability of containing vectors. A vector survey shall be conducted to determine the need for any required control programs. A vector clearance application shall be submitted to the appropriate Mosquito & Vector Control Program. For information, contact EHS Mosquito & Vector Control Program at (800) 442-2283 or West Valley Mosquito & Vector at (909) 635-0307.

**PRIOR TO BUILDING PERMIT ISSUANCE****County Fire - Community Safety****37 F02 Fire Fee - Status: Outstanding**

The required fire fees shall be paid to the San Bernardino County Fire Department/Community Safety Division.

**38 F09 Building Plans - Status: Outstanding**

Building Plans shall be submitted to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal.

39 **F19 Surface** - Status: Outstanding

Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced to provide all-weather driving capabilities. Road surface shall meet the approval of the Fire Chief prior to installation. All roads shall be designed to 85% compaction and/or paving and hold the weight of Fire Apparatus at a minimum of 80K pounds.

40 **F21 Turnaround** - Status: Outstanding

An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12 % grade and have a minimum of forty-five (45) foot radius for all turns. In the Fire Safety Overlay District cul-de-sac length shall not exceed three hundred fifty (350) feet.

41 **F69 Haz-Mat Approval** - Status: Outstanding

The applicant shall contact the San Bernardino County Fire Department/Hazardous Materials Division (909) 386-8401 for review and approval of building plans, where the planned use of such buildings will or may use hazardous materials or generate hazardous waste materials.

### **Land Use Services - Building and Safety**

42 **Construction Plans** - Status: Outstanding

Any building, sign, or structure to be added to, altered (including change of occupancy/use), constructed, or located on site, will require professionally prepared plans based on the most current adopted County and California Building Codes, submitted for review and approval by the Building and Safety Division.

### **Public Health– Environmental Health Services**

43 **Existing Wells** - Status: Outstanding

If wells are found on-site, evidence shall be provided that all wells are: (1) properly destroyed, by an approved C57 contractor and under permit from the County OR (2) constructed to EHS standards, properly sealed and certified as inactive OR (3) constructed to EHS standards and meet the quality standards for the proposed use of the water (industrial and/or domestic). Evidence, such as a well certification, shall be submitted to EHS for approval.

## **PRIOR TO OCCUPANCY**

### **County Fire - Community Safety**

44 **F06 Inspection by Fire Department** - Status: Outstanding

Permission to occupy or use the building (Certification of Occupancy or Shell Release) will not be granted until the Fire Department inspects, approves and signs off on the Building and Safety job card for "fire final".

**County Fire - Hazardous Materials**45 **Permit Required** - Status: Outstanding

Prior to occupancy, a business or facility that handles hazardous materials in quantities at or exceeding 55 gallons, 500 pounds, or 200 cubic feet (compressed gas) at any one time or generates any amount of hazardous waste shall obtain hazardous material permits from this department. Prior to occupancy, the business operator shall apply for permits (Hazardous Material Handler Permit, Hazardous Waste Generator Permit, Aboveground Petroleum Storage Tank Permit, Underground Storage Tank Permit, or other applicable permits) by submitting a complete hazardous materials business plan using the California Environmental Reporting System (CERS) at <http://cers.calepa.ca.gov/> or apply for exemption from permitting requirements. Contact the Office of the Fire Marshal, Hazardous Materials Section at (909) 386-8401 or visit <https://sbcfire.org/hazmatcupa/> for more information.

**Land Use Services - Building and Safety**46 **Condition Compliance Release Form Sign-off** - Status: Outstanding

Prior to occupancy all Department/Division requirements and signoffs shall be completed.

**PRIOR TO OCCUPANCY****County Fire - Community Safety**47 **F16 Access** - Status: Outstanding

The development shall have a minimum of one point of vehicular access. These are for fire/emergency equipment access and for evacuation routes. a. Single Story Road Access Width. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. b. Multi-Story Road Access Width. Fire apparatus access roadways serving buildings that are three (3) or more stories or thirty (30) feet or more in height shall be a minimum of thirty (30) feet in unobstructed width and vertically to fourteen (14) feet six (6) inches in height. 1. This Project will be allowed to have 20' width. Approved by AFM CM 9/3/25.

**PRIOR TO FINAL INSPECTION****County Fire - Community Safety**48 **F11 Combustible Vegetation** - Status: Outstanding

Combustible vegetation shall be removed as follows: a. Where the average slope of the site is less than 15% - Combustible vegetation shall be removed a minimum distance of thirty (30) feet from all structures or to the property line, whichever is less. b. Where the average slope of the site is 15% or greater - Combustible vegetation shall be removed a minimum one hundred (100) feet from all structures or to the property line, whichever is less. County Ordinance #3586

49 **F47 Above Ground Storage Tank** - Status: Outstanding

Above Ground Storage Tank plans shall be submitted to the San Bernardino County Fire Department for review and approval prior to any installation on-site. The required Fees shall be paid at time of plan submittal.



50 **F48 Material Identification Placards** - Status: Outstanding

The applicant shall install Fire Department approved material identification placards on the outside of all buildings and/or storage tanks that store or plan to store hazardous or flammable materials in all locations deemed appropriate by the Fire Department. Additional placards shall be required inside the buildings when chemicals are segregated into separate areas. Any business with an N.F.P.A. 704 rating of 2-3-3 or above shall be required to install an approved key box vault on the premises, which shall contain business access keys and a business plan.

51 **F51 Commercial Addressing** - Status: Outstanding

Commercial and industrial developments of 100,000 sq. ft or less shall have the street address installed on the building with numbers that are a minimum eight (8) inches in height and with a one (1) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated address identification shall be displayed on a monument, sign or other approved means with numbers that are a minimum of six (6) inches in height and three-quarter ( $\frac{3}{4}$ ) inch stroke. 1. Illuminated Address sign is not required for this project.

If you would like additional information regarding any of the conditions in this document, please contact the department responsible for applying the condition and be prepared to provide the Record number above for reference. Department contact information has been provided below.

Department/Agency	Office/Division	Phone Number
Land Use Services Dept.	San Bernardino Govt. Center	(909) 387-8311
(All Divisions)	High Desert Govt. Center	(760) 995-8140
Web Site	<a href="https://lus.sbcounty.gov/">https://lus.sbcounty.gov/</a>	
County Fire	San Bernardino Govt. Center	(909) 387-8400
(Community Safety)	High Desert Govt. Center	(760) 995-8190
Web Site	<a href="https://www.sbcfire.org/">https://www.sbcfire.org/</a>	
County Fire	Hazardous Materials	(909) 386-8401
	Flood Control	(909) 387-7995
Dept. of Public Works	Solid Waste Management	(909) 386-8701
	Surveyor	(909) 387-8149
	Traffic	(909) 387-8186
Web Site	<a href="https://dpw.sbcounty.gov/">https://dpw.sbcounty.gov/</a>	
Dept. of Public Health	Environmental Health Services	(800) 442-2283
Web Site	<a href="https://ehs.sbcounty.gov">https://ehs.sbcounty.gov</a>	
Local Agency Formation Commission (LAFCO)		(909) 388-0480
Web Site	<a href="http://www.sbclafco.org/">http://www.sbclafco.org/</a>	
	Water and Sanitation	(760) 955-9885
	Administration,	
	Park and Recreation,	
Special Districts	Roads, Streetlights,	(909) 386-8800
	Television Districts, and Other	

APN: 0466181250000

Effective Date: 10/06/2025

PROJ-2025-00068

Expiration Date: 10/06/2028

*External Agencies (Caltrans, U.S. Army, etc.)*

*See condition text for contact information...*

## **EXHIBIT C: PROJECT PLANS**

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PROJECT DESCRIPTION:

CONSTRUCTION OF TELECOMMUNICATIONS AND PUBLIC UTILITY FACILITY, CONSISTING OF A 120' FAUX WINDMILL TOWER WITH (12) 8' ANTENNAS, (12) RRU'S, (1) 2' MICROWAVE, (1) GPS ANTENNA, REQUIRED ANTENNA CABLING, HCS JUMPERS, (2) GROUND MOUNTED RADIO CABINETS, (1) BACK-UP DIESEL GENERATOR, (2) RAISED CONCRETE PADS, CABLE ICE BRIDGE, UTILITY BACKBOARD AND MULTI-METER UTILITY SERVICE MOUNTED ON H-FRAME WITHIN A 45'x75' FAUX VINE FENCED LEASE AREA. NO WATER OR SEWER SERVICE IS REQUIRED. THIS WILL BE AN UNMANNED FACILITY.

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2022 CALIFORNIA BUILDING CODE
2. 2022 CALIFORNIA TITLE 24
3. 2022 CALIFORNIA FIRE CODE
3. 2022 CALIFORNIA ELECTRIC CODE
4. 2022 CALIFORNIA ENERGY CODE
5. 2022 CALIFORNIA MECHANICAL CODE
6. TIA/EIA-222-H OR LATEST EDITION
5. ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE
6. CITY/COUNTY ORDINANCES



US-CA-5468 HELENDALE

15302 SMITHSON RD

HELENDALE, CA 92342

120' FAUX WINDMILL TOWER

TENANT SITE ID: IE95436A

APPROVAL BLOCK				
		APPROVED	APPROVED AS NOTED	DISAPPROVED REVISE
<hr/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
VERTICAL BRIDGE	DATE			
<hr/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE			
<hr/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONSTRUCTION MANAGER	DATE			
<hr/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PERMITTING	DATE			
<hr/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEERING	DATE			

CLIENT

750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION

ASSURANCE  
DEVELOPMENT

1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

2	RESIDENTIAL SETBACK	APP	09/15/25
1	FIRE CONDITIONS OF APPROVAL	JR	07/03/25
0	ISSUED FOR CONSTRUCTION	JR	04/03/25
A	ISSUED FOR REVIEW	JR	03/19/25
NO.	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR

DESIGNED: JR

CHECKED: BL

PROJECT NUMBER:

US-CA-5468

PROJECT TITLE:

US-CA-5468

IE95436A

HELENDALE

15302 SMITHSON RD

HELENDALE, CA 92342

ENGINEER STAMP:

DRAWING TITLE:

TITLE SHEET

DRAWING SCALE:

AS NOTED

DATE:

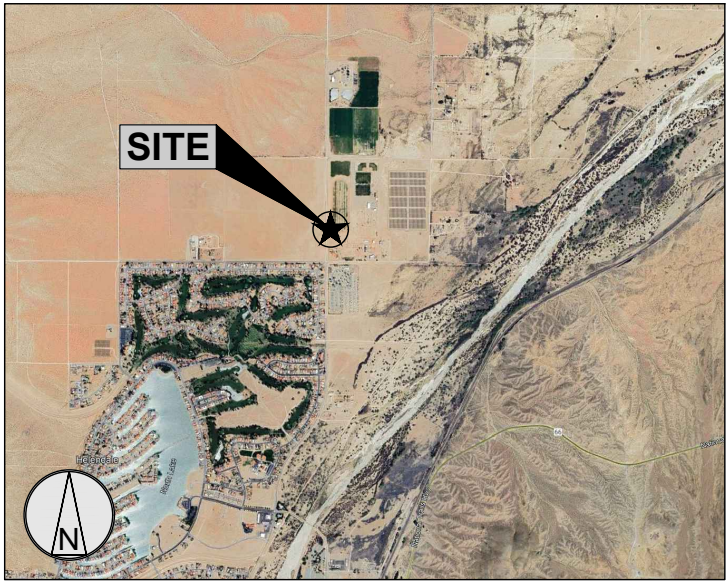
03/19/25

ZD

UNAUTHORIZED ALTERATION OR ADDITION TO  
THIS DOCUMENT IS A VIOLATION OF  
APPLICABLE STATE AND / OR LOCAL LAWS

DRAWING NUMBER:

T1



VICINITY MAP

N.T.S.



LOCATION MAP

N.T.S.

PROJECT INFORMATION	
SITE NAME:	HELENDALE
SITE NUMBER:	US-CA-5468
TENANT SITE ID:	IE95436A
SITE ADDRESS:	15302 SMITHSON RD HELENDALE, CA 92342
PARCEL #:	046-618-125
DEED REFERENCE:	N/A
ZONING CLASSIFICATION:	RL-5 (COUNTY RURAL LIVING)
ZONING JURISDICTION:	SAN BERNARDINO COUNTY
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	U (UNMANNED TELECOM FACILITY)
NO. OF STORIES:	1 (ENCLOSURE ONLY)
SPRINKLER:	NONE
STRUCTURE TYPE:	FAUX WINDMILL TOWER
STRUCTURE HEIGHT:	120'
CONSTRUCTION AREA:	3,375 SQ. FT.
GROUND ELEVATION:	2409.08' (NAVD88)
LATITUDE (NAD 83):	34.764039° (34° 45' 50.54" N)
LONGITUDE (NAD 83):	-117.329906° (117° 19' 47.66" W)

DRAWING INDEX	
DRWG. #	TITLE
T1	TITLE SHEET
T2	CONDITIONS OF APPROVAL
LS-1	TITLE DETAILS
LS-2	TOPOGRAPHIC SURVEY
A1	SITE PLAN
A2	ENLARGED SITE PLAN
A3	ENLARGED COMPOUND PLAN
A4	EQUIPMENT AND ANTENNA PLAN
A5	ELEVATIONS

EMERGENCY:

CALL 911

UNDERGROUND SERVICE ALERT

(800) 642-2444  
WWW.CALIFORNIA811.ORG

CALL 2 TO 14 WORKING DAYS UTILITY NOTIFICATION  
PRIOR TO CONSTRUCTION

PROJECT DIRECTORY	
PROPERTY OWNER:	HELENDALE COMMUNITY SERVICES DISTRICT 26540 VISTA RD HELENDALE, CA 92342
APPLICANT:	VERTICAL BRIDGE 750 PARK OF COMMERCE DR. #200 BOCA RATON, FL 33487
CONTACT:	ASSURANCE DEVELOPMENT 1499 HUNTINGTON DR. #305 SOUTH PASADENA, CA 91030 CONTACT: BILL LEWIS PHONE: 626.765.5079
POWER COMPANY:	SCE
TELCO COMPANY:	AT&T





Conditions of Approval

Record:	PREA-2025-00110	System Date:	06/02/2025
Record Type:	Pre-Application Development Review	Primary APN:	0466181250000
Record Status:	Complete	Application Name:	T-MOBILE FAUX WINDMILL WIRELESS COMMUNICATION FACILITY - PRE-APP (TELECOMMUNICATIONS)
Effective Date:		Expiration Date:	
Description:	PRE-APPLICATION DEVELOPMENT REVIEW - TO CONSTRUCT AN UNMANNED 120' FAUX WINDMILL TOWER WITH (12) 8' ANTENNAS, (12) RRU'S, (1) 2' MICROWAVE, (1) GPS ANTENNA, REQUIRED ANTENNA CABLING, HCS JUMPERS, (2) GROUND MOUNTED RADIO CABINETS, (1) BACK-UP DIESEL GENERATOR, (2) RAISED CONCRETE PADS, AND SPACE FOR TWO ADDITIONAL CARRIERS ON A 3,375 SF LEASE AREA ON A 37.39 ACRE PARCEL, LOCATED 15302 N. SMITHSON ROAD IN HELENDALE CA 92342; IN PUBLIC FACILITY (PF) LAND USE CATEGORY AND IN THE RURAL LIVING – 5 ACRE MINIMUM (RL-5) ZONING DISTRICT; 1ST SUPERVISORIAL DISTRICT; APN: 0466-181-25; PROJECT NUMBER: PREA-2025-00110		

This document does not signify project approval.

If the project has been approved, then an effective date and an expiration date for these conditions can be found below. This content reflects County records as at the System Date and time below.

The following conditions of approval have been imposed for the project identified below. The applicant/developer shall complete all conditions of approval stipulated in the approval letter.

Conditions of Approval are organized by project phase, then by status, and finally by department imposing the condition.

On-going conditions must be complied with at all times. For assistance interpreting the content of this document, please contact the Land Use Services Department Planning Division.

Contact information is provided at the end of this document for follow-up on individual conditions.

INFORMATIONAL

	County Fire - Community Safety
1	<b>F01 Jurisdiction</b> - Status: Outstanding The above referenced project is under the jurisdiction of the San Bernardino County Fire Department herein "Fire Department". Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.

- APN: 0466181250000Effective Date:PREA- 2025-00110Expiration Date:
- 16**F47 Above Ground Storage Tank** - Status: Outstanding  
Above Ground Storage Tank plans shall be submitted to the San Bernardino County Fire Department for review and approval prior to any installation on-site. The required Fees shall be paid at time of plan submittal.
- 17**F48 Material Identification Placards** - Status: Outstanding  
The applicant shall install Fire Department approved material identification placards on the outside of all buildings and/or storage tanks that store or plan to store hazardous or flammable materials in all locations deemed appropriate by the Fire Department. Additional placards shall be required inside the buildings when chemicals are segregated into separate areas. Any business with an N.F.P.A. 704 rating of 2-3-3 or above shall be required to install an approved key box vault on the premises, which shall contain business access keys and a business plan.
- 18**F51 Commercial Addressing** - Status: Outstanding  
Commercial and industrial developments of 100,000 sq. ft or less shall have the street address installed on the building with numbers that are a minimum eight (8) inches in height and with a one (1) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated address identification shall be displayed on a monument, sign or other approved means with numbers that are a minimum of six (6) inches in height and three-quarter (¾) inch stroke.

If you would like additional information regarding any of the conditions in this document, please contact the department responsible for applying the condition and be prepared to provide the Record number above for reference. Department contact information has been provided below.

Department/Agency	Office/Division	Phone Number
Land Use Services Dept.	San Bernardino Govt. Center	(909) 387-8311
(All Divisions)	High Desert Govt. Center	(760) 995-8140
Web Site	<a href="https://lvs.sbcounty.gov/">https://lvs.sbcounty.gov/</a>	
County Fire (Community Safety)	San Bernardino Govt. Center	(909) 387-8400
Web Site	High Desert Govt. Center	(760) 995-8190
Web Site	<a href="https://www.sbcfire.org/">https://www.sbcfire.org/</a>	
County Fire	Hazardous Materials	(909) 386-8401
	Flood Control	(909) 387-7995
Dept. of Public Works	Solid Waste Management	(909) 386-8701
	Surveyor	(909) 387-8149
	Traffic	(909) 387-8186
Web Site	<a href="https://dpw.sbcounty.gov/">https://dpw.sbcounty.gov/</a>	
Dept. of Public Health	Environmental Health Services	(800) 442-2283
Web Site	<a href="https://ehs.sbcounty.gov">https://ehs.sbcounty.gov</a>	
Local Agency Formation Commission (LAFCO)		(909) 388-0480
Web Site	<a href="http://www.sbc-la-fco.org/">http://www.sbc-la-fco.org/</a>	
	Water and Sanitation	(760) 955-9885

- APN: 0466181250000Effective Date:PREA- 2025-00110Expiration Date:
- 2**F04 Fire Permit Expiration** - Status: Outstanding  
Construction permits shall automatically expire and become invalid unless the work authorized such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. Suspension or abandonment shall mean that no inspection by the Department has occurred with 180 days of any previous inspection. After a construction permit becomes invalid and before such previously approved work recommences, a new permit shall be first obtained and the fee to recommence work shall be one-half the fee for the new permit for such work, provided no changes have been made or will be made in the original construction documents for such work, and provided further that such suspension or abandonment has not exceeded one year. A request to extend the permit may be made in writing PRIOR TO the expiration date justifying the reason that the permit should be extended.
- 3**F08 Fire Safety Overlay** - Status: Outstanding  
The County General Plan designates this property as being within the Fire Safety Review Area. All construction shall adhere to all applicable standards and requirements of the Fire Safety Review Area as adopted in the San Bernardino County Development Code.
- 4**F15 Access – 30% slope** - Status: Outstanding  
Where the natural grade between the access road and building is in excess of thirty percent (30%), an access road shall be provided within one hundred and fifty (150) feet of all buildings. Where such access cannot be provided, a fire protection system shall be installed. Plans shall be submitted to and approved by the Fire Department.
- 5**F20 Access – 150+ feet** - Status: Outstanding  
Roadways exceeding one hundred fifty (150) feet in length shall be approved by the Fire Department. Roadways shall be extended to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building.
- 6**F49 Cell Towers** - Status: Outstanding  
Cell towers that are proposed in a Fire Safety Overlay District with a camouflaged covering [e.g. tree] shall indicate that all such exterior camouflaged coverings shall be of an approved fire resistive material.
- 7**F50 PSTS Interference** - Status: Outstanding  
Cell site installation and operation of the proposed system shall not cause harmful interference to the County's Public Safety Telecommunications System (PSTS). If it is determined that the system causes harmful interference with PSTS operations the cell tower operations shall cease immediately upon order of the Fire Chief or other County official.
- 8**F70 Additional Requirements** - Status: Outstanding  
In addition to the Fire requirements stated herein, other onsite and off-site improvements may be required which cannot be determined at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to this office. 1. Provide report for bridge access weight to hold fire apparatus. 2. Deferred submittal required for Generator being installed
- PRIOR TO BUILDING PERMIT ISSUANCE
- County Fire - Community Safety
- 9**F02 Fire Fee** - Status: Outstanding  
The required fire fees shall be paid to the San Bernardino County Fire Department/Community Safety Division.

APN: 0466181250000Effective Date:PREA- 2025-00110Expiration Date:	Administration, Park and Recreation, Roads, Streetlights, Television Districts, and Other <i>External Agencies (Caltrans, U.S. Army, etc.)</i>	
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- APN: 0466181250000Effective Date:PREA- 2025-00110Expiration Date:
- 10**F09 Building Plans** - Status: Outstanding  
Building Plans shall be submitted to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal.
- 11**F21 Turnaround** - Status: Outstanding  
An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12 % grade and have a minimum of forty-five (45) foot radius for all turns. In the Fire Safety Overlay District cul-de-sac length shall not exceed three hundred fifty (350) feet.
- 12**F69 Haz-Mat Approval** - Status: Outstanding  
The applicant shall contact the San Bernardino County Fire Department/Hazardous Materials Division (909) 386-8401 for review and approval of building plans, where the planned use of such buildings will or may use hazardous materials or generate hazardous waste materials.
- PRIOR TO OCCUPANCY
- County Fire - Community Safety
- 13**F06 Inspection by Fire Department** - Status: Outstanding  
Permission to occupy or use the building (Certification of Occupancy or Shell Release) will not be granted until the Fire Department inspects, approves and signs off on the Building and Safety job card for "fire final".
- PRIOR TO RECORDATION
- County Fire - Community Safety
- 14**F16 Access** - Status: Outstanding  
The development shall have a minimum of \_\_\_\_one\_\_\_\_ points of vehicular access. These are for fire/emergency equipment access and for evacuation routes. a. Single Story Road Access Width. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. b. Multi-Story Road Access Width. Fire apparatus access roadways serving buildings that are three (3) or more stories or thirty (30) feet or more in height shall be a minimum of thirty (30) feet in unobstructed width and vertically to fourteen (14) feet six (6) inches in height.
- PRIOR TO FINAL INSPECTION
- County Fire - Community Safety
- 15**F11 Combustible Vegetation** - Status: Outstanding  
Combustible vegetation shall be removed as follows: a. Where the average slope of the site is less than 15% - Combustible vegetation shall be removed a minimum distance of thirty (30) feet from all structures or to the property line, whichever is less. b. Where the average slope of the site is 15% or greater - Combustible vegetation shall be removed a minimum one hundred (100) feet from all structures or to the property line, whichever is less. County Ordinance #3586

CLIENT

750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION

1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

2	RESIDENTIAL SETBACK	APP	09/15/25
1	FIRE CONDITIONS OF APPROVAL	JR	07/03/25
0	ISSUED FOR CONSTRUCTION	JR	04/03/25
A	ISSUED FOR REVIEW	JR	03/19/25
NO.	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR  
DESIGNED: JR  
CHECKED: BL

PROJECT NUMBER: US-CA-5468

PROJECT TITLE:

US-CA-5468  
IE95436A  
HELENDALE  
15302 SMITHSON RD  
HELENDALE, CA 92342

ENGINEER STAMP:

DRAWING TITLE:  
CONDITIONS OF  
APPROVAL

DRAWING SCALE:  
AS NOTED

DATE:  
03/19/25

ZD

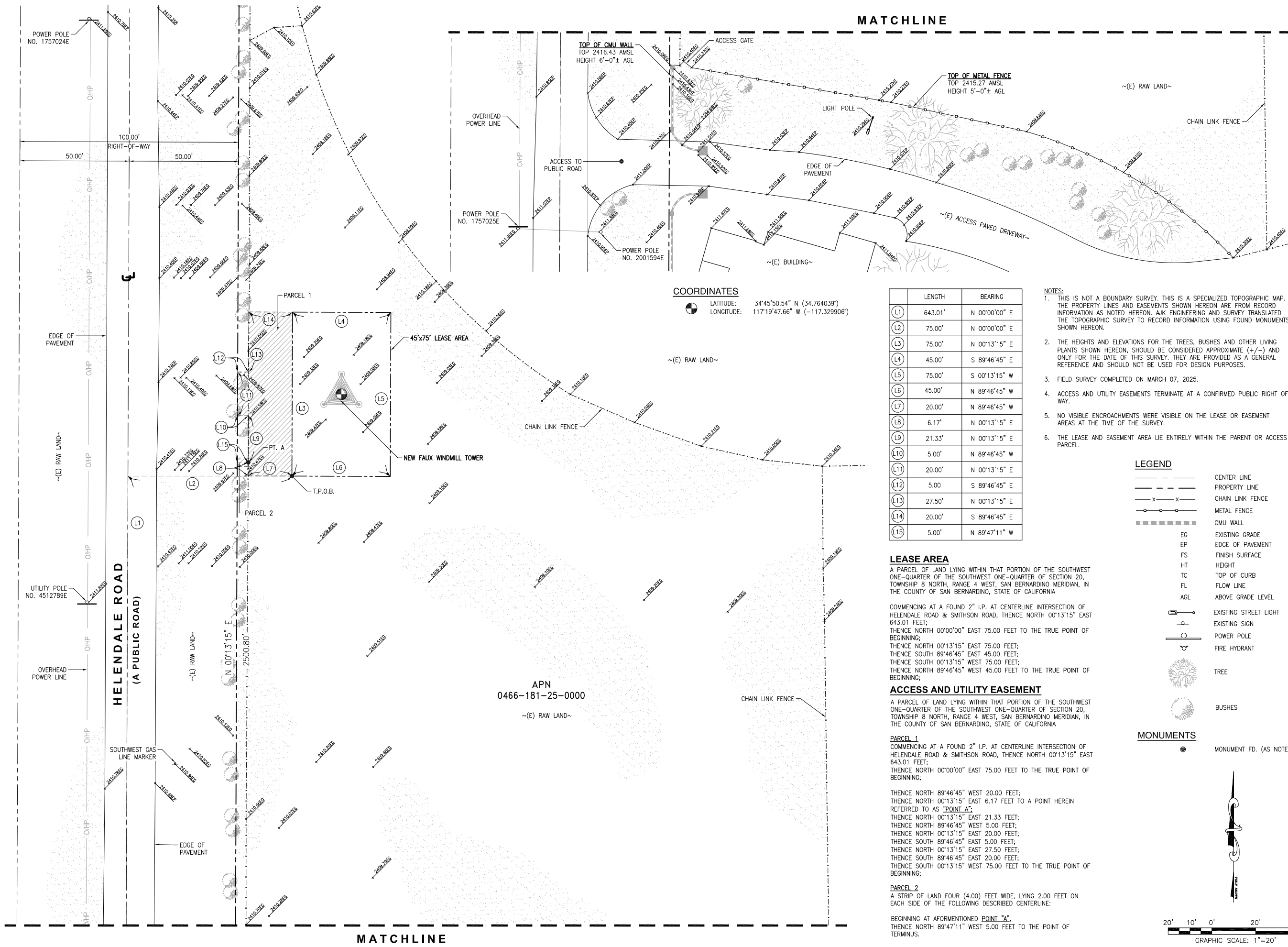
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DRAWING NUMBER:

T2







	LENGTH	BEARING
(L1)	643.01'	N 00°00'00\"
(L2)	75.00'	N 00°00'00\"
(L3)	75.00'	N 00°13'15\"
(L4)	45.00'	S 89°46'45\"
(L5)	75.00'	S 00°13'15\"
(L6)	45.00'	N 89°46'45\"
(L7)	20.00'	N 89°46'45\"
(L8)	6.17'	N 00°13'15\"
(L9)	21.33'	N 00°13'15\"
(L10)	5.00'	N 89°46'45\"
(L11)	20.00'	N 00°13'15\"
(L12)	5.00'	S 89°46'45\"
(L13)	27.50'	N 00°13'15\"
(L14)	20.00'	S 89°46'45\"
(L15)	5.00'	N 89°47'11\"

**LEASE AREA**  
A PARCEL OF LAND LYING WITHIN THAT PORTION OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 20, TOWNSHIP 8 NORTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

COMMENCING AT A FOUND 2\" I.P. AT CENTERLINE INTERSECTION OF HELENDALE ROAD & SMITHSON ROAD, THENCE NORTH 00°13'15\" EAST 643.01 FEET;  
THENCE NORTH 00°00'00\" EAST 75.00 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE NORTH 00°13'15\" EAST 75.00 FEET;  
THENCE SOUTH 89°46'45\" EAST 45.00 FEET;  
THENCE SOUTH 00°13'15\" WEST 75.00 FEET;  
THENCE NORTH 89°46'45\" WEST 45.00 FEET TO THE TRUE POINT OF BEGINNING;

**ACCESS AND UTILITY EASEMENT**  
A PARCEL OF LAND LYING WITHIN THAT PORTION OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 20, TOWNSHIP 8 NORTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

**PARCEL 1**  
COMMENCING AT A FOUND 2\" I.P. AT CENTERLINE INTERSECTION OF HELENDALE ROAD & SMITHSON ROAD, THENCE NORTH 00°13'15\" EAST 643.01 FEET;  
THENCE NORTH 00°00'00\" EAST 75.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 89°46'45\" WEST 20.00 FEET;  
THENCE NORTH 00°13'15\" EAST 6.17 FEET TO A POINT HEREIN REFERRED TO AS **POINT A**;  
THENCE NORTH 00°13'15\" EAST 21.33 FEET;  
THENCE NORTH 89°46'45\" WEST 5.00 FEET;  
THENCE NORTH 00°13'15\" EAST 20.00 FEET;  
THENCE SOUTH 89°46'45\" EAST 5.00 FEET;  
THENCE NORTH 00°13'15\" EAST 27.50 FEET;  
THENCE SOUTH 89°46'45\" EAST 20.00 FEET;  
THENCE SOUTH 00°13'15\" WEST 75.00 FEET TO THE TRUE POINT OF BEGINNING;

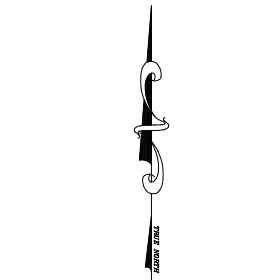
**PARCEL 2**  
A STRIP OF LAND FOUR (4.00) FEET WIDE, LYING 2.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT AFORMENTIONED **POINT A**;  
THENCE NORTH 89°47'11\" WEST 5.00 FEET TO THE POINT OF TERMINUS.

- NOTES:**
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. AJK ENGINEERING AND SURVEY TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
  - THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
  - FIELD SURVEY COMPLETED ON MARCH 07, 2025.
  - ACCESS AND UTILITY EASEMENTS TERMINATE AT A CONFIRMED PUBLIC RIGHT OF WAY.
  - NO VISIBLE ENCROACHMENTS WERE VISIBLE ON THE LEASE OR EASEMENT AREAS AT THE TIME OF THE SURVEY.
  - THE LEASE AND EASEMENT AREA LIE ENTIRELY WITHIN THE PARENT OR ACCESS PARCEL.

LEGEND	
	CENTER LINE
	PROPERTY LINE
	CHAIN LINK FENCE
	METAL FENCE
	CMU WALL
	EXISTING GRADE
	EDGE OF PAVEMENT
	FINISH SURFACE
	HEIGHT
	TOP OF CURB
	FLOW LINE
	ABOVE GRADE LEVEL
	EXISTING STREET LIGHT
	EXISTING SIGN
	POWER POLE
	FIRE HYDRANT
	TREE
	BUSHES
	MONUMENT FD. (AS NOTED)

**MONUMENTS**



20' 10' 0' 20' 40'  
GRAPHIC SCALE: 1\"=20'

SURVEY PREPARED FOR:

**verticalbridge**

VB BTS II, LLC

750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION

**AD**

**ASSURANCE DEVELOPMENT**

1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.216.2024

ENGINEER

**AJK**

ENGINEERING AND SURVEY

24 RECONDO  
IRVINE, CA 92620  
714.624.9927

3	UPDATED COORDINATES	LA	03/26/25
2	FINAL SURVEY	LA	03/21/25
1	PRELIMINARY SURVEY	LA	03/12/25
NO.	SUBMITTAL / REVISION	BY	DATE

DRAWN: LA  
DESIGNED: LA  
CHECKED: AJK

PROJECT NUMBER: US-CA-5468

PROJECT TITLE:

**US-CA-5468  
HELENDALE**

15302 SMITHSON RD.,  
HELENDALE, CA 92342  
SAN BERNARDINO COUNTY

ENGINEER STAMP:



DRAWING TITLE:  
**TOPOGRAPHIC SURVEY**

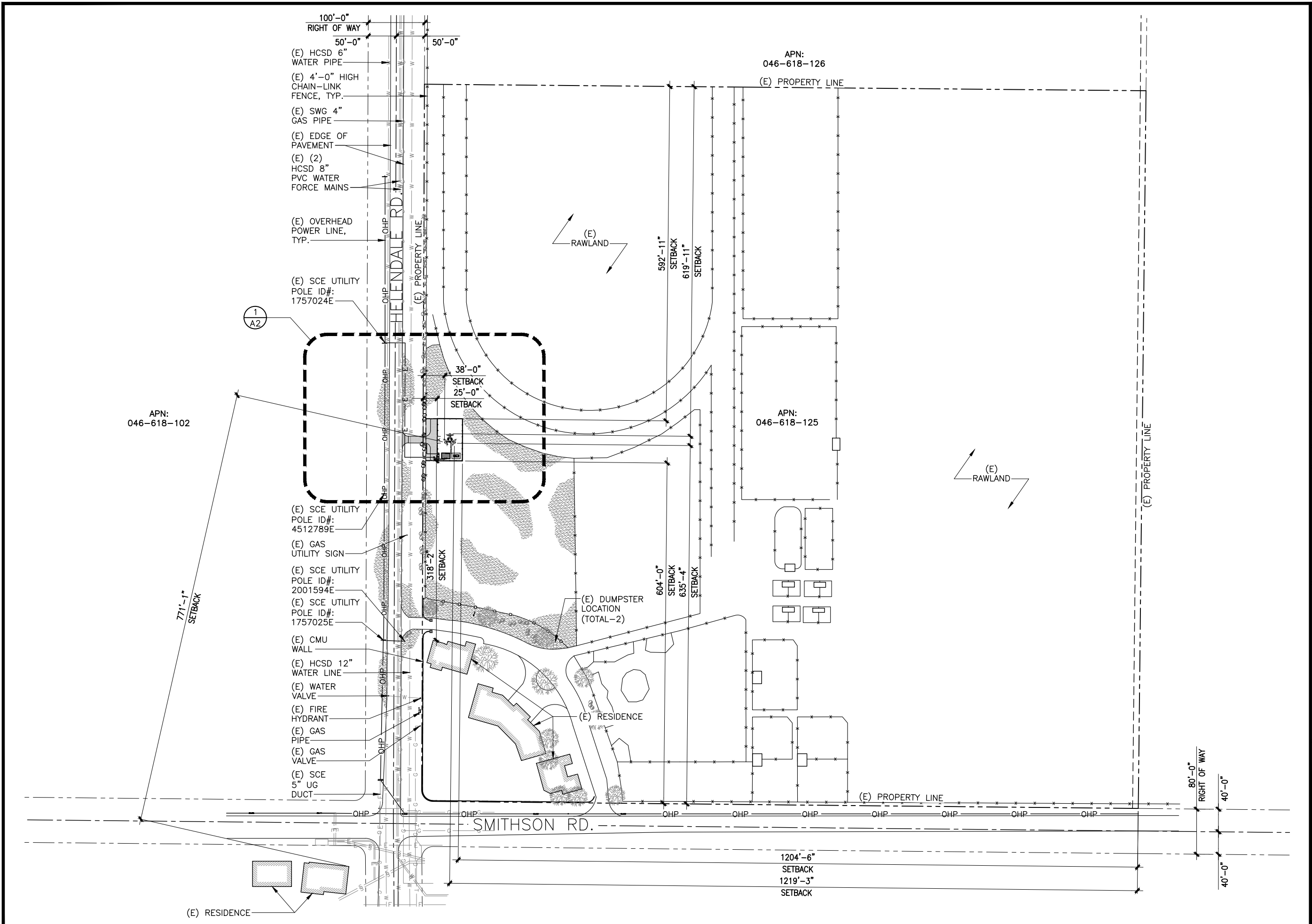
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**AS NOTED**

DATE:  
**03/21/2025**

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DRAWING NUMBER:

**LS-2**



CLIENT

750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION

ASSURANCE  
DEVELOPMENT  
1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

2	RESIDENTIAL SETBACK	APP	09/15/25
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US-CA-5468  
IE95436A  
HELENDALE  
15302 SMITHSON RD  
HELENDALE, CA 92342

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SITE PLAN

DRAWING SCALE:

AS NOTED

DATE: 03/19/25

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DRAWING NUMBER:

A1

**FIRE NOTES**  
1. COMBUSTIBLE VEGETATION SHALL BE REMOVED AS FOLLOWS: WHERE THE AVERAGE SLOPE OF THE SITE IS LESS THAN 15% - COMBUSTIBLE VEGETATION SHALL BE REMOVED A MINIMUM OF THIRTY (30) FEET FROM ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS LESS.

(E) RAWLAND  
APN:  
046-618-102

(E) 4'-0" HIGH CHAIN-LINK FENCE, TYP.  
(E) CHAIN-LINK GATE  
(E) EDGE OF PAVEMENT  
(E) SCE UTILITY POLE ID#: 1757024E, W/ PROPOSED 4"Ø RISER, POWER P.O.C.  
(E) HCSD 6" WATER PIPE  
(E) OVERHEAD POWER LINE, TYP.  
PROPOSED 4"Ø SCH 80 PVC CONDUIT FROM P.O.C. TO PROPOSED SCE PRIMARY PULLBOX (±290'-0")  
(E) (2) HCSD 8" PVC WATER FORCE MAINS

(E) VEGETATION (SHRUBS) TO BE REMOVED WITHIN COMBUSTIBLE VEGETATION BUFFER BY VB GC (TOTAL-12)  
(E) HCSD 12" WATER LINE  
(E) SWG 4" GAS PIPE  
PROPOSED 4'-0" HIGH CHAIN-LINK FENCE  
PORTION OF (E) CHAIN-LINK FENCE TO BE REMOVED  
PROPOSED 12' VERTICAL BRIDGE GRAVELED ACCESS ROAD (±60'-0")

PROPOSED DRIVEWAY APPROACH

PROPOSED 20'-0" WIDE VERTICAL BRIDGE NON-EXCLUSIVE ACCESS AND UTILITY EASEMENT

(E) SHRUBS, TYP.

PROPOSED SCE 17"x30" PRIMARY PULLBOX

PROPOSED 45'x75' VERTICAL BRIDGE LEASE AREA WITH 6'-0" HIGH CHAIN-LINK FENCED COMPOUND W/ FAUX VINES

1  
A3

HELENDALE RD.

(E) PROPERTY LINE

38'-0" SETBACK  
25'-0" SETBACK

30'-0" COMBUSTIBLE VEGETATION REMOVAL ZONE

APN:  
046-618-125

(E) RAWLAND

(E) RAWLAND

ENLARGED SITE PLAN

11"x17" SCALE: 1" = 60'-0"  
24"x36" SCALE: 1" = 30'-0"  
0 15' 30' 60'



1

CLIENT  
**verticalbridge**  
750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION  
**AD**  
**ASSURANCE DEVELOPMENT**  
1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

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HELENDALE**  
15302 SMITHSON RD  
HELENDALE, CA 92342

ENGINEER STAMP:

DRAWING TITLE:  
**ENLARGED  
SITE PLAN**

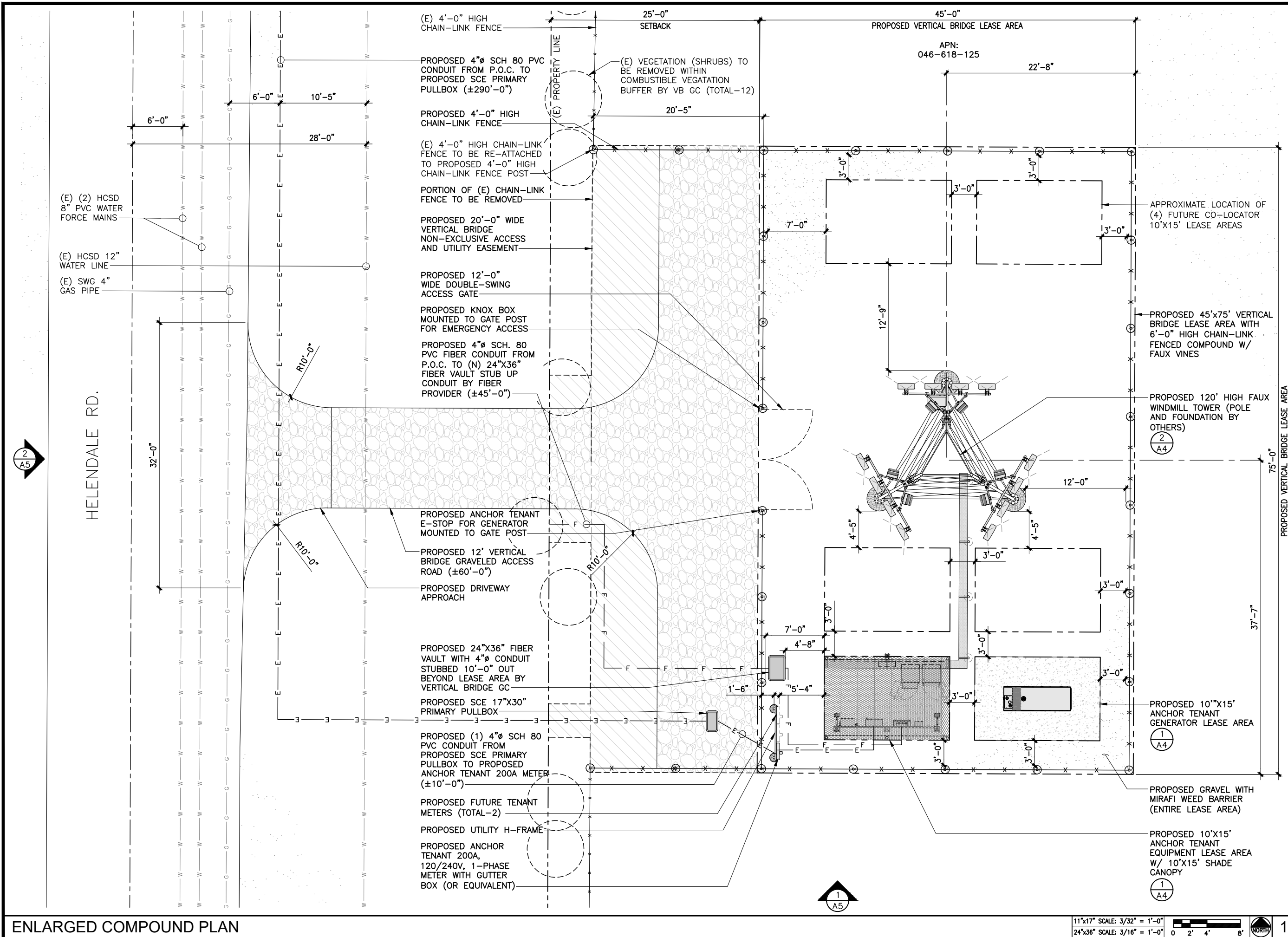
DRAWING SCALE:  
AS NOTED  
DATE: 03/19/25  
**ZD**

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DRAWING NUMBER:

**A2**





ENLARGED COMPOUND PLAN

CLIENT

750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION

1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

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US-CA-5468  
IE95436A  
HELENDALE  
15302 SMITHSON RD  
HELENDALE, CA 92342

ENGINEER STAMP:

DRAWING TITLE:

ENLARGED  
COMPOUND PLAN

DRAWING SCALE:  
AS NOTED

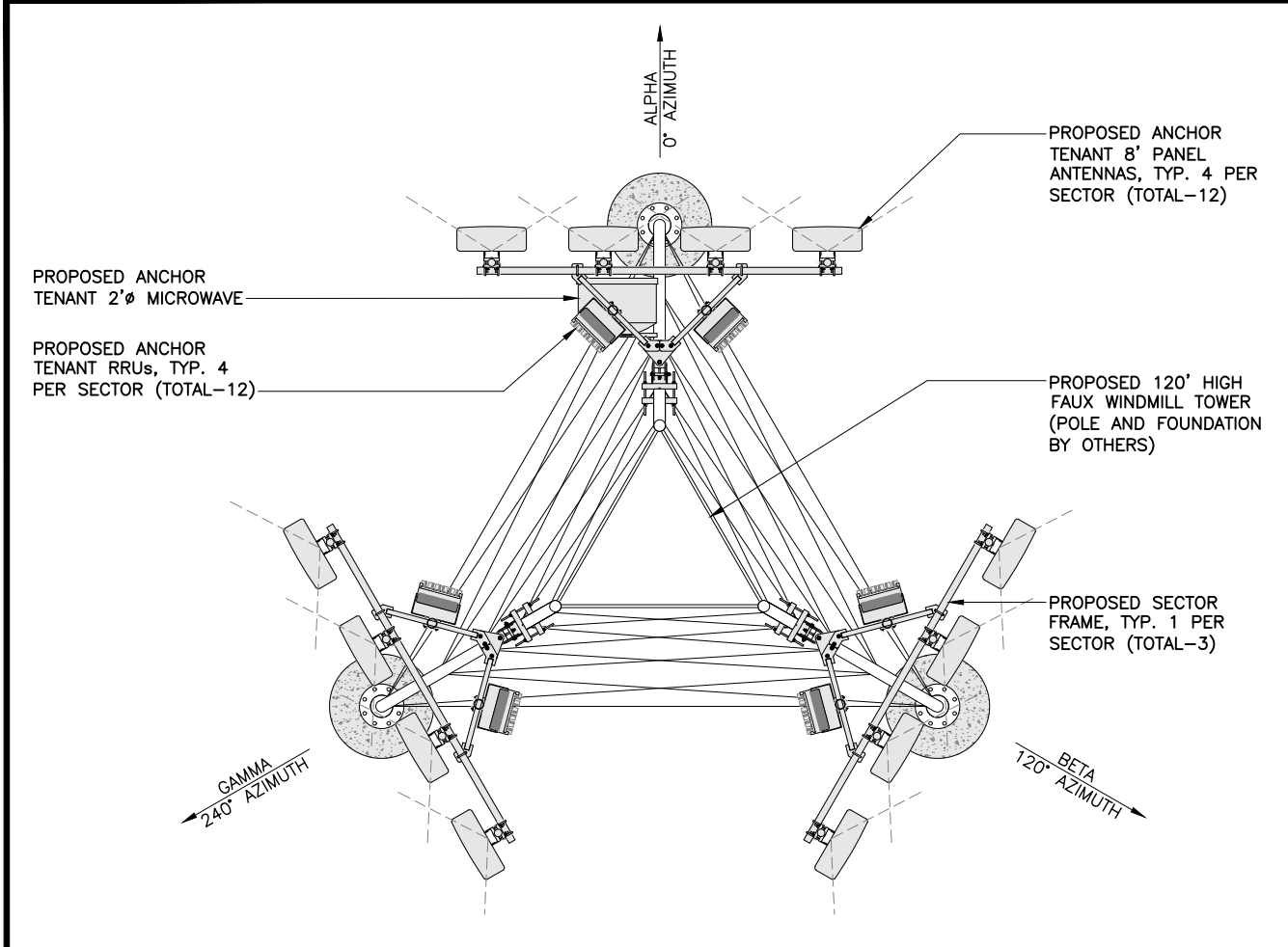
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DATE:  
03/19/25

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DRAWING NUMBER:

A3



ANTENNA PLAN

11"x17" SCALE: 3/16" = 1'-0"  
24"x36" SCALE: 3/8" = 1'-0"

0 1' 2' 4'

2



NOT USED

SCALE  
N.T.S.

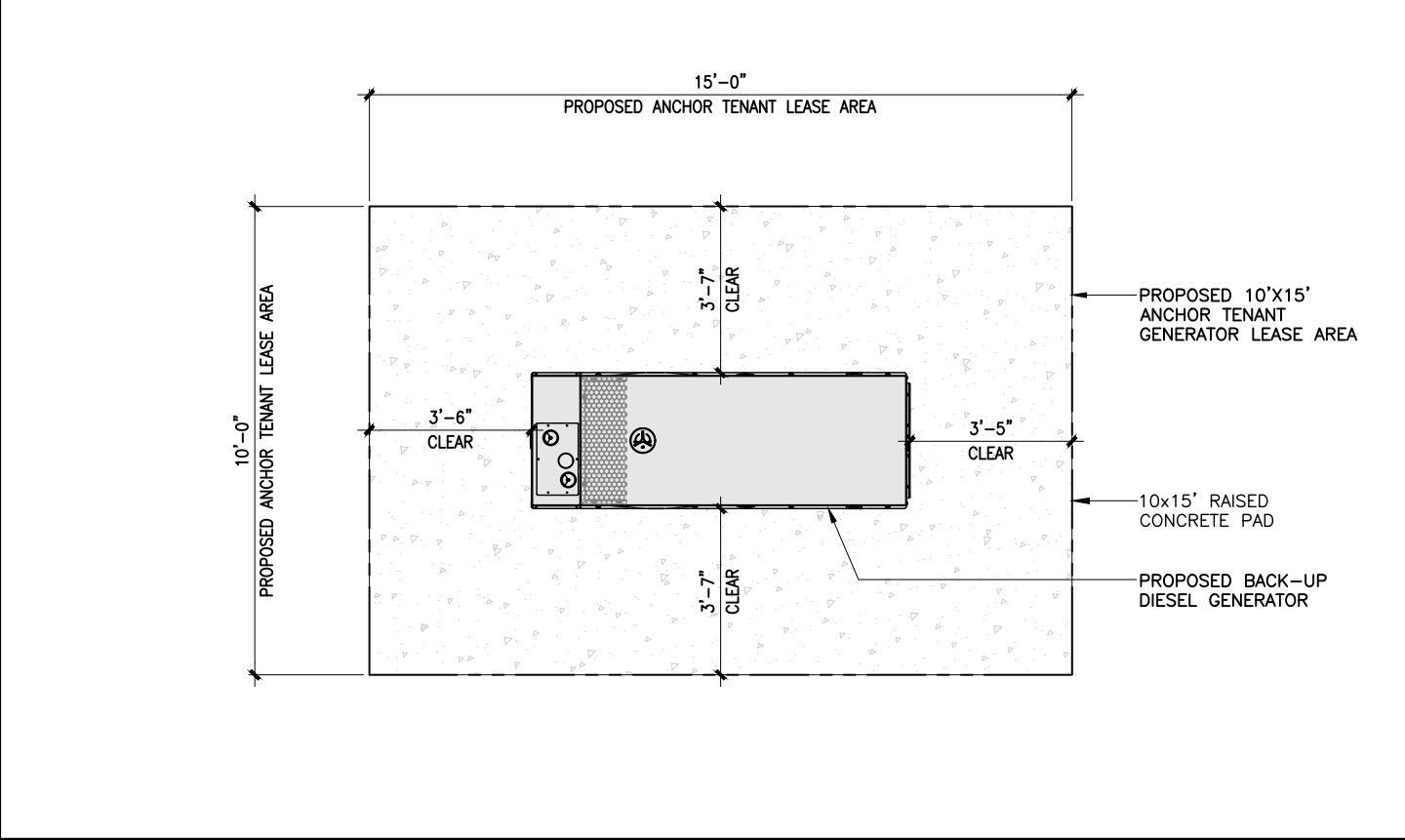
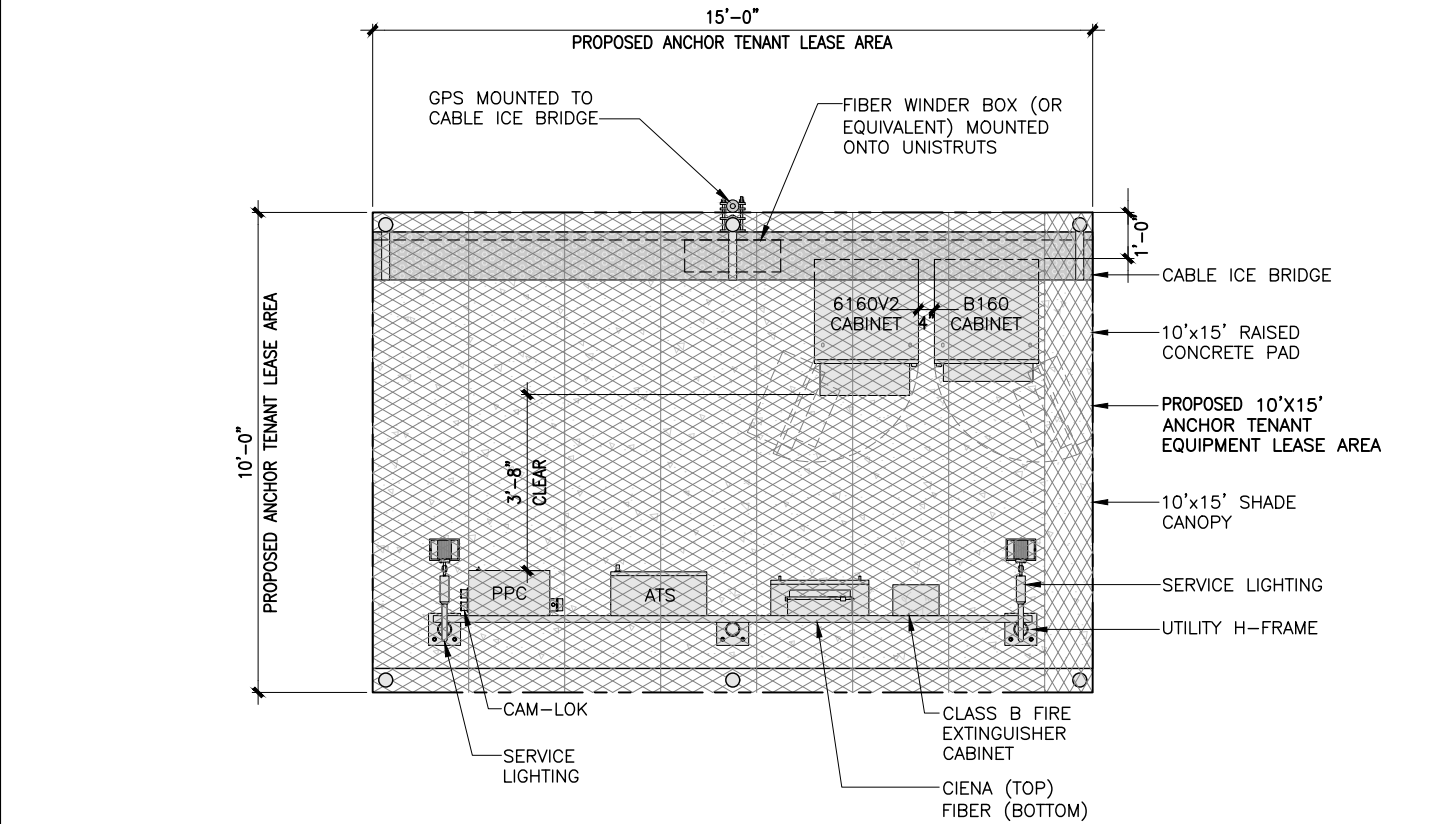
3

**SERVICE LIGHTING NOTES:**

1. THE SERVICE LIGHT IS MANUALLY SWITCHED ON/OFF BY THE SITE TECHNICIAN IN EMERGENCY SITUATIONS.
2. MAINTENANCE OF THE CELL SITES ARE NORMALLY PERFORMED DURING DAY-LIGHT HOURS.
3. THE SERVICE LIGHT SHALL BE POINTED -45° TOWARDS THE GROUND.

**SERVICE LIGHTING SPECIFICATIONS:**

MODEL: PLTS-12249 (OR EQUAL)  
LED WATTAGE: 15W  
LUMENS: 2097 LM  
FOOT CANDLE: 194.8 FC



EQUIPMENT PLAN

11"x17" SCALE: 1/4" = 1'-0"  
24"x36" SCALE: 1/2" = 1'-0"

0 1' 2' 4'

1

CLIENT

**verticalbridge**

750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION

**AD**

**ASSURANCE  
DEVELOPMENT**

1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

NO.	SUBMITTAL / REVISION	BY	DATE
2	RESIDENTIAL SETBACK	APP	09/15/25
1	FIRE CONDITIONS OF APPROVAL	JR	07/03/25
0	ISSUED FOR CONSTRUCTION	JR	04/03/25
A	ISSUED FOR REVIEW	JR	03/19/25

DRAWN: JR  
DESIGNED: JR  
CHECKED: BL

PROJECT NUMBER: US-CA-5468

PROJECT TITLE:

**US-CA-5468  
IE95436A  
HELENDALE**

15302 SMITHSON RD  
HELENDALE, CA 92342

ENGINEER STAMP:

DRAWING TITLE:

**EQUIPMENT AND  
ANTENNA PLAN**

DRAWING SCALE:  
AS NOTED

DATE:  
03/19/25

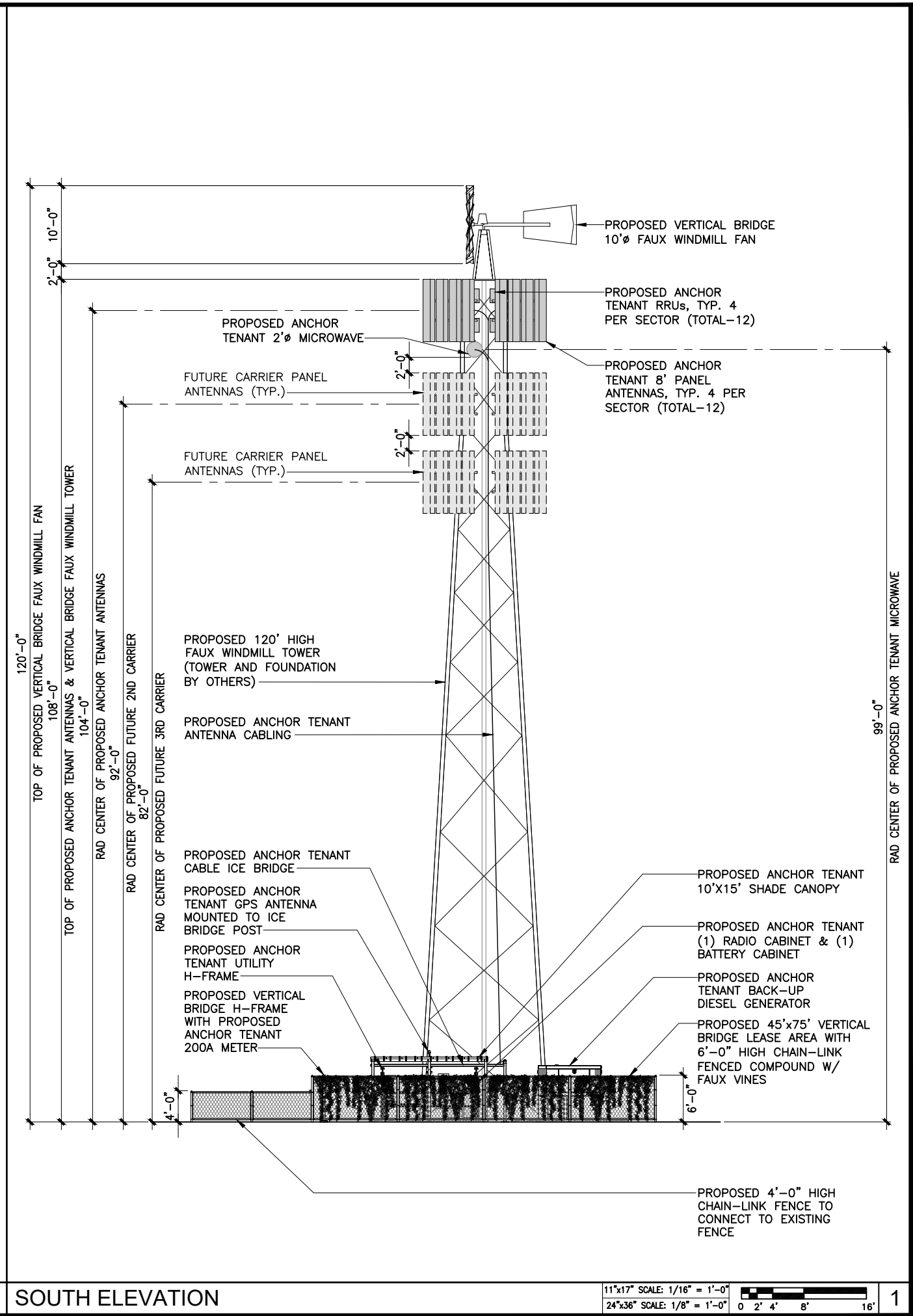
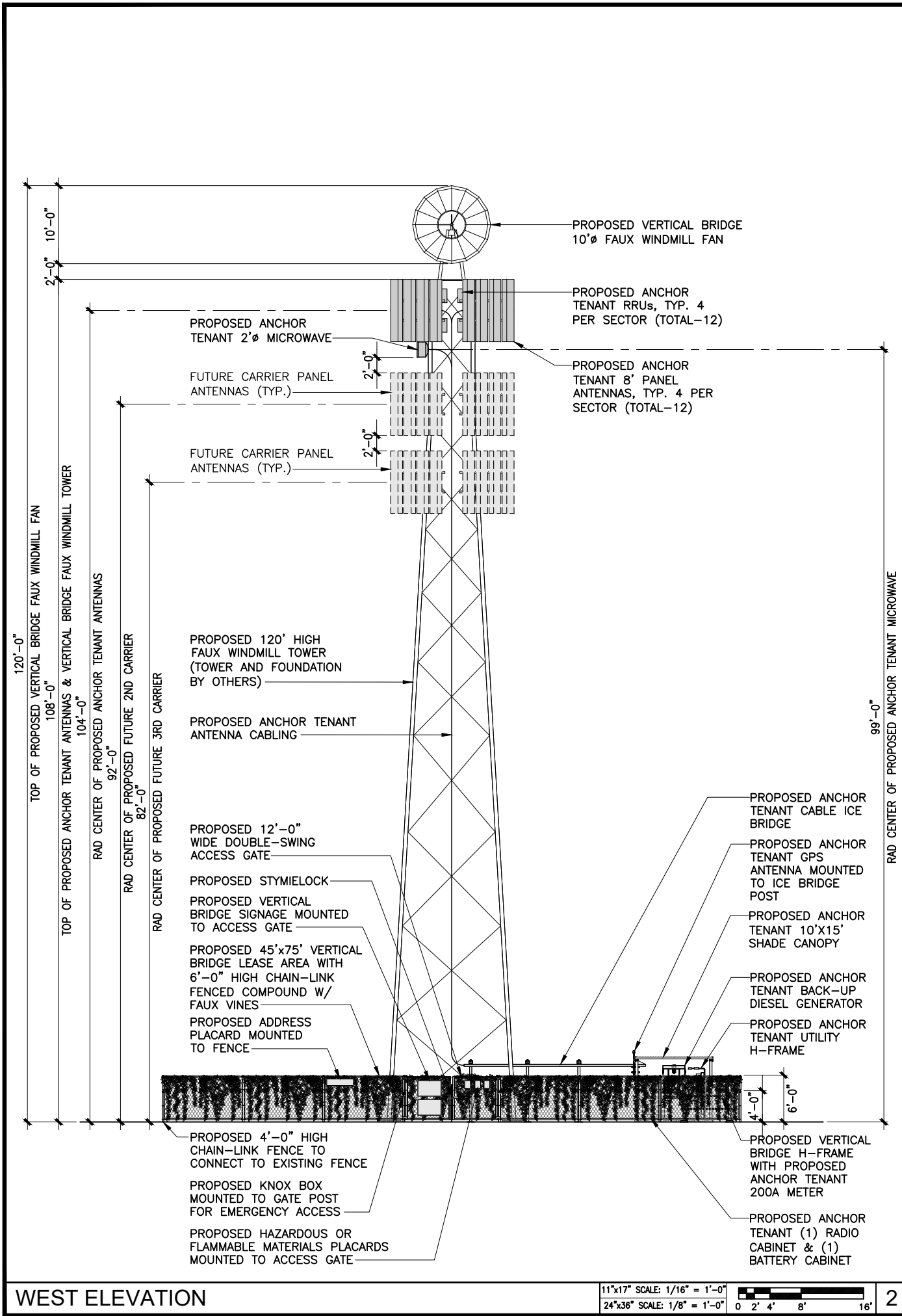
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**A4**





CLIENT

750 PARK OF COMMERCE DR.  
SUITE 200 | BOCA RATON, FL | 33487  
561.948.6367

SITE ACQUISITION

ASSURANCE  
DEVELOPMENT

1499 HUNTINGTON DR. | SUITE 305  
SOUTH PASADENA, CA | 91030  
626.765.5079

2	RESIDENTIAL SETBACK	APP	09/15/25
1	FIRE CONDITIONS OF APPROVAL	JR	07/03/25
0	ISSUED FOR CONSTRUCTION	JR	04/03/25
A	ISSUED FOR REVIEW	JR	03/19/25
NO.	SUBMITTAL / REVISION	BY	DATE

DRAWN: JR  
DESIGNED: JR  
CHECKED: BL

PROJECT NUMBER: US-CA-5468

PROJECT TITLE:  
**US-CA-5468  
IE95436A  
HELENDALE**  
15302 SMITHSON RD  
HELENDALE, CA 92342

ENGINEER STAMP:

DRAWING TITLE:  
**ELEVATIONS**

DRAWING SCALE:  
AS NOTED

**ZD**

DATE:  
03/19/25

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## **EXHIBIT D: NOTICE OF EXEMPTION**

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# Notice of Exemption

To: ☒ Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, CA 95814

From: San Bernardino County  
Land Use Services Department  
Planning Division  
385 North Arrowhead Avenue, First Floor  
San Bernardino, CA 92415-0187

☒ Clerk of the Board of Supervisors  
County of San Bernardino  
385 North Arrowhead Avenue, Second Floor  
San Bernardino, CA 92415-0130

## Project Description

**APN:** 0466-181-25-0000  
**APPLICANT:** Assurance Development  
**PROPOSAL:** Helendale Community Services District Cell Tower - Minor Use Permit to construct a T-Mobile Wireless Telecommunication Facility, installing a 120-foot faux windmill tower with 12 panel antennas, 1 microwave antenna, 1 GPS antenna, 1 diesel; generator, 1 shade canopy, and space for two additional carriers to co-locate. All related equipment to be enclosed within a 6-foot-tall chain-link enclosure on a 3,375 SQ FT lease area of a 37.39-acre parcel.  
**JCS:** PROJ-2025-00068  
**COMMUNITY:** Helendale  
**LOCATION:** 15302 North Smithson Road in Helendale, CA 92342

## Applicant

Assurance Development

Name

1499 Huntington Dr, Ste 305

Address

South Pasadena, CA 91030

City, State, Zip

(310) 488-6237

Phone

## Representative

Samantha Herrmann

Name

1499 Huntington Dr, Ste 305

Address

South Pasadena, CA 91030

City, State, Zip

(310) 488-6237

Phone

Valerie Flores, Planner

Lead Agency Contact Person

(909) 531-3035

Area Code/Telephone Number

Exempt Status: (check one)

- ☐ Ministerial [Sec. 21080(b)(1); 15268];  
☐ Declared Emergency [Sec. 21080(b)(3); 15269(a)];  
☐ Emergency Project [Sec. 21080(b)(4); 15269(b)(c)];  
☒ Categorical Exemption. State type and section number: 15303(d) New Construction or Conversion of small structures  
☐ Statutory Exemptions. State code number: \_\_\_\_\_  
☐ Other Exemption: \_\_\_\_\_

Reasons why project is exempt: The Project proposal is exempt from CEQA as a Class 3 Categorical Exemption under Section 15303 which applies to the new construction and location of small structures and appurtenant equipment. Further environmental review under CEQA is not required.

09/25/25

Signature

Title

Date

☒ Signed by Lead Agency  
Date received for filing at OPR: \_\_\_\_\_

☐ Signed by Applicant

Land Use Services Department - Revised November 1997