



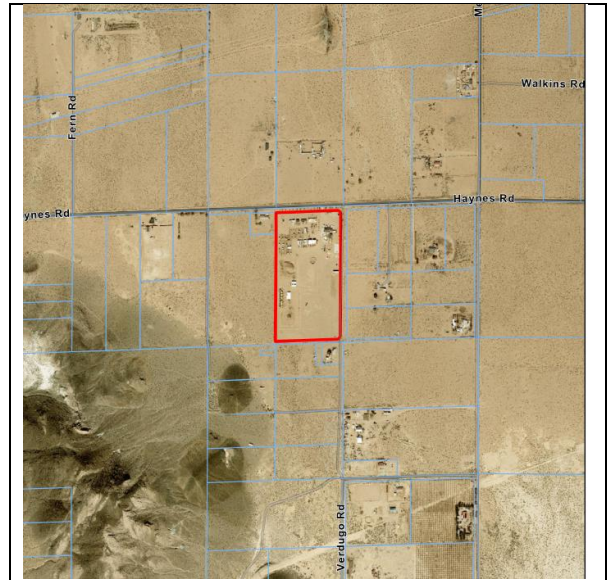
LAND USE SERVICES DEPARTMENT ZONING ADMINISTRATOR STAFF REPORT

HEARING DATE: December 11, 2025

AGENDA ITEM NO. 2

Project Description

APN: 0453-062-14
Applicant: River's Edge Ranch
Community: Lucerne Valley / 3rd Supervisorial District
Location: 33433 S. Haynes Road
Project No: PROJ-2021-00153
Staff: Oliver Mujica
Rep: Josh LaBarge
Proposal: Minor Use Permit for the expansion, establishment and operation of an unlicensed Residential Care Facility for a maximum of 115 male residents/participants and 5 staff members. This includes the expansion of an existing administration building from 1,387 square feet to 8,029 square feet, construction of a new 11,114 square foot bunk house, an existing 994 square foot laundry building, and 38 parking spaces on 19.95 acres.



15 Public Hearing Notices Sent on: November 25, 2025

Report Prepared By: Oliver Mujica, Contract Planner III

SITE INFORMATION:

Parcel Size: Approximately 19.95 acres
Vegetation: Native grass and landscaping

TABLE 1: SITE AND SURROUNDING LAND USES AND ZONING

AREA	EXISTING LAND USE	LAND USE CATEGORY	LAND USE ZONING DISTRICT
SITE	Unlicensed Residential Care Facility	Resource Land Management (RLM)	Agriculture (AG)
North	Single Family Residences	Resource Land Management (RLM)	Agriculture (AG)
South	Single Family Residences	Resource Land Management (RLM)	Agriculture (AG)
East	Single-Family Residence	Resource Land Management (RLM)	Agriculture (AG)
West	Single Family Residence	Resource Land Management (RLM)	Agriculture (AG)

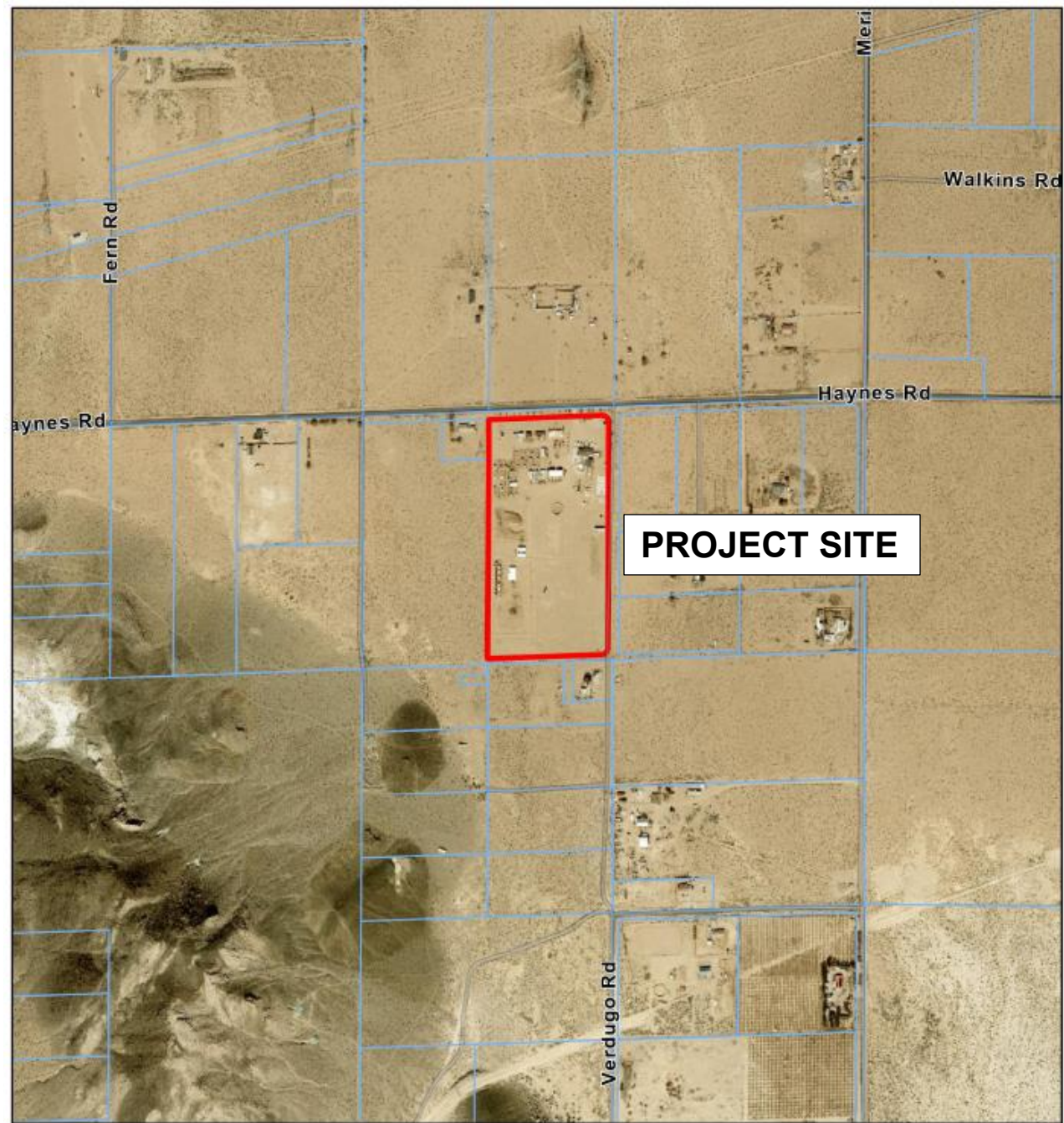
City Sphere of Influence:	<u>Agency</u> N/A	<u>Comment</u> N/A
Water Service:	Mojave Water Agency Environmental Health Services	Private
Sewer Service:	Septic	Private

STAFF RECOMMENDATION

That the Zoning Administrator: **ADOPT** the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program; **ADOPT** the Findings in support of the Minor Use Permit; **APPROVE** the Minor Use Permit (PROJ-2021-00153) for the expansion, establishment and operation of an unlicensed Residential Care Facility for a maximum of 115 male residents/participants and 5 staff members. This includes the expansion of an existing administration building from 1,387 square feet to 8,029 square feet, construction of a new 11,114 square foot bunk house, an existing 994 square foot laundry building, and 38 parking spaces on 19.95 acres, subject to the Conditions of Approval; and **DIRECT** the Land Use Services Department to file the Notice of Determination in accordance with CEQA¹.

¹ In accordance with Section 86.08 of the Development Code, the action taken by the Zoning Administrator may be appealed to the Planning Commission before its effective date.

FIGURE 1: VICINITY MAP



Vicinity Aerial Map

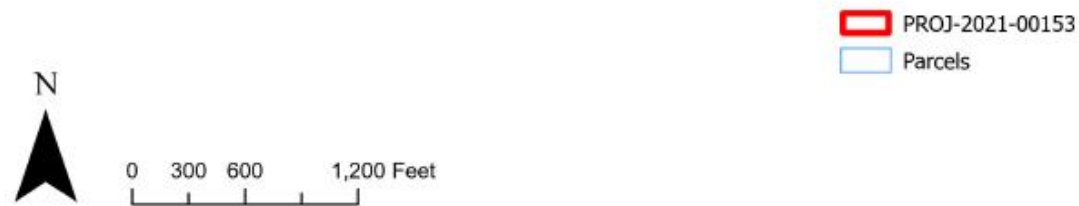
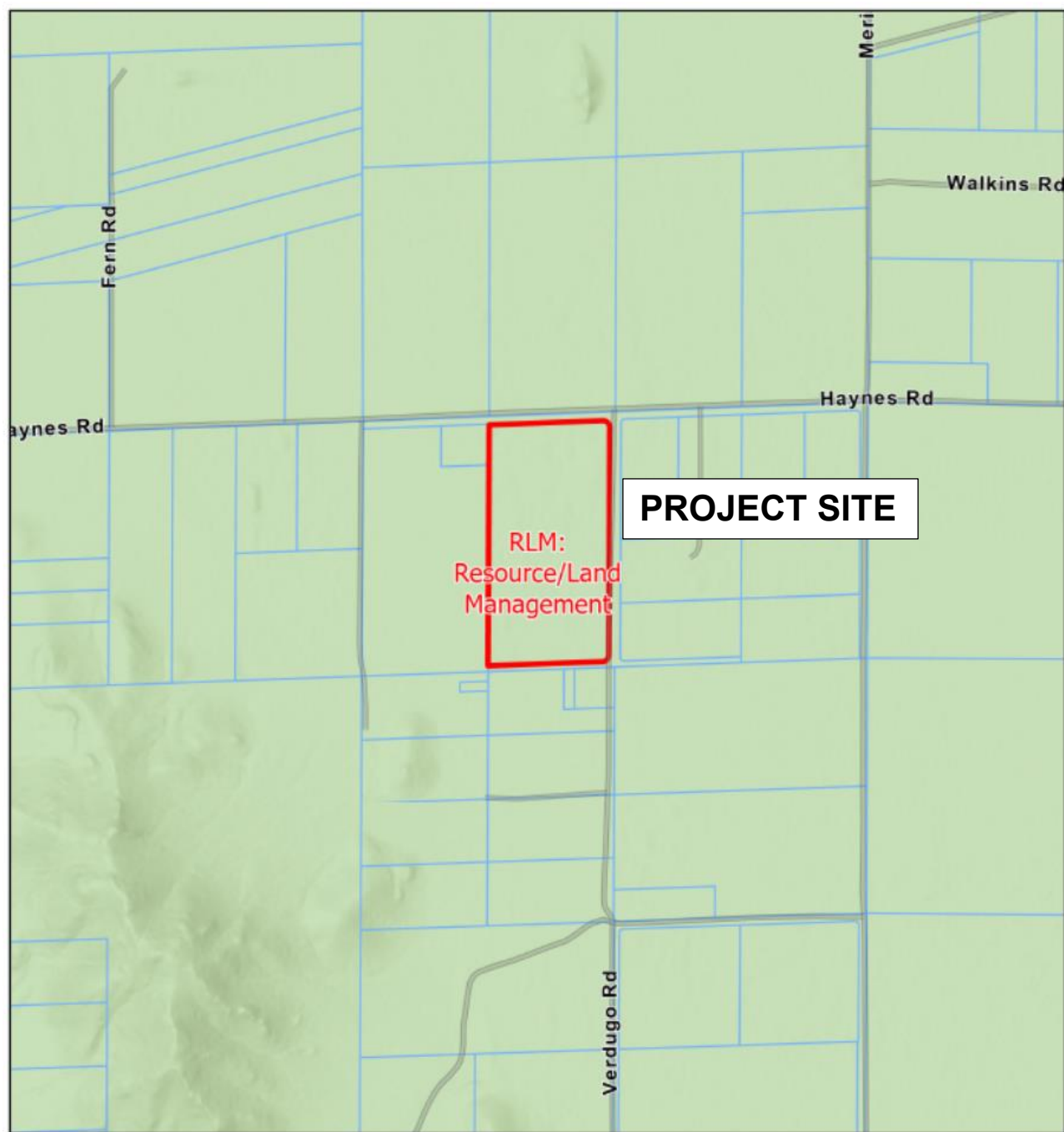


FIGURE 2: LAND USE CATEGORY MAP



Land Use Categories



0 300 600 1,200 Feet




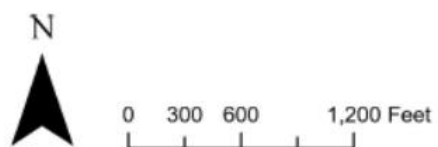
-  PROJ-2021-00153
-  Parcels
-  RLM: Resource/Land Management

FIGURE 3: ZONING MAP



Land Use Zoning Districts



- PROJ-2021-00153
- Parcels
- Zoning Districts**
- LV/AG: Lucerne Valley/Agriculture

FIGURE 4: PROJECT SITE
View looking southwest on Haynes Road and Verdugo Road



FIGURE 5: PROJECT SITE
View looking east on Haynes Road



FIGURE 6: EXISTING DEVELOPMENT



FIGURE 7: PARTIAL SITE PLAN

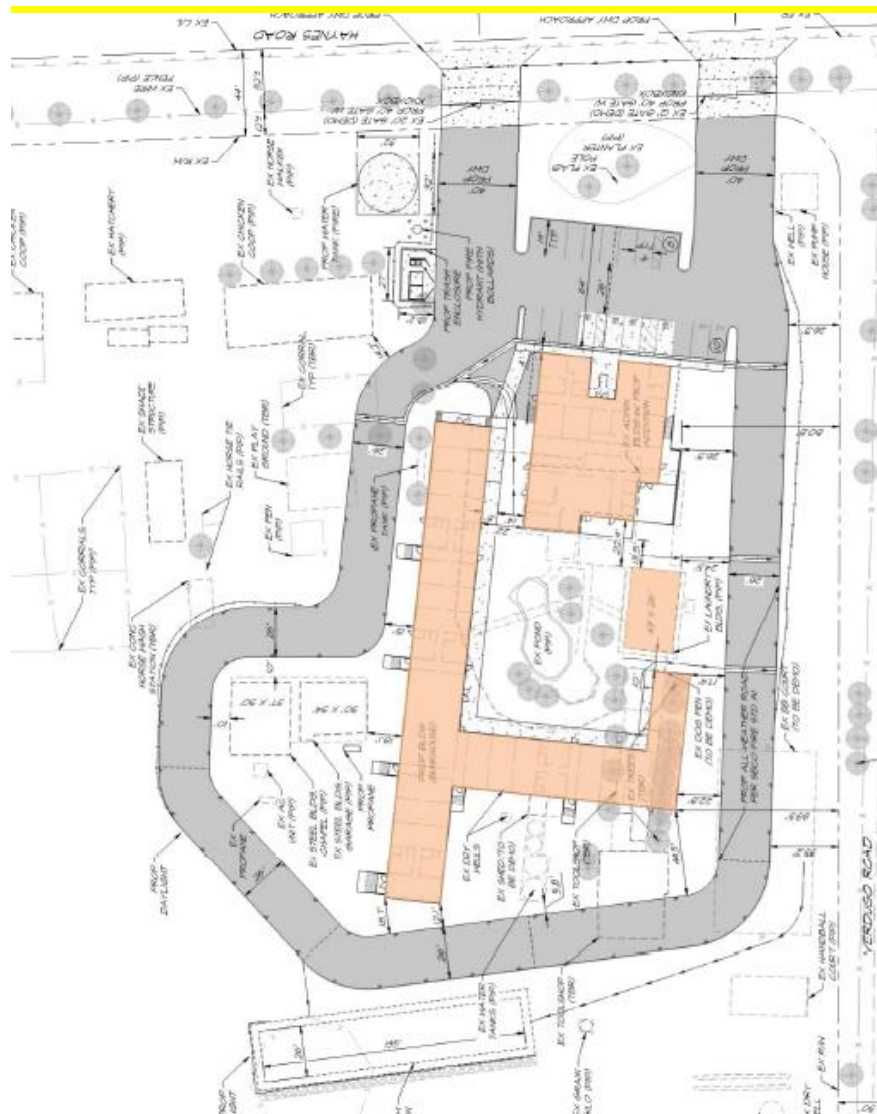
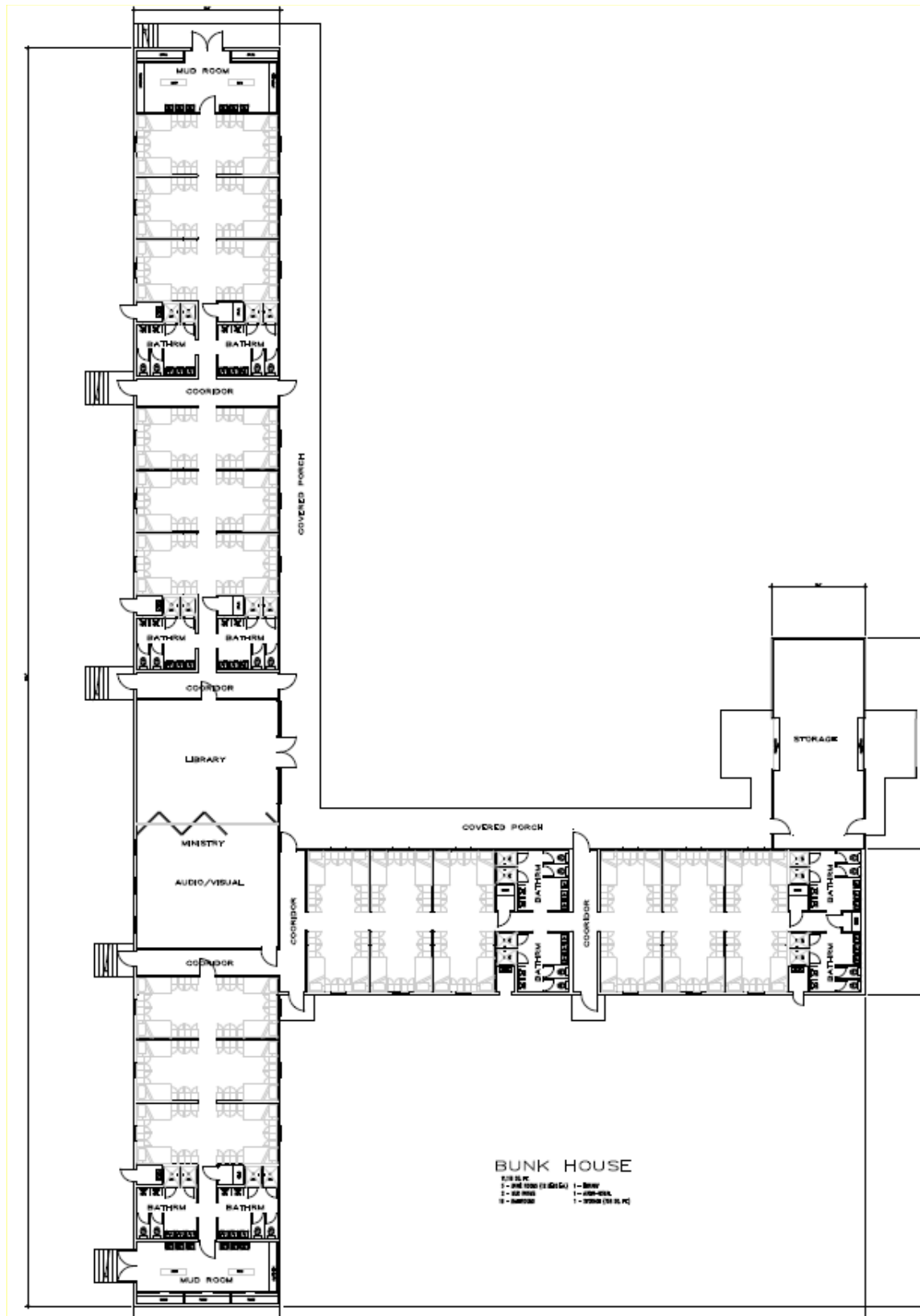


FIGURE 8: ADMINISTRATION BUILDING (Looking West from Haynes Road.)



FIGURE 9: FLOOR PLAN - BUNK



BACKGROUND AND PROJECT DESCRIPTION

Project Background

As a non-profit 501(c)(3) organization, River's Edge Ranch (Ranch) is an existing unlicensed Residential Care Facility operating as a working ranch that offers training to male residents/ participants related to gaining basic life skills including healthy eating, restful sleep and exercising as well as animal keeping, manual labor, and faith and mentoring support.

The Ranch's working hours of operation are Monday through Sunday from 7:00 a.m. to 6:00 p.m. The Project site currently has the capacity to accommodate a maximum of up to forty (40) male residents/ participants ranging from 18-65 years of age. The residents/participants include men in recovery from addiction, veterans, formerly incarcerated, and homeless men who have been referred by family, friends, churches, local community organizations, and San Bernardino County Sheriff's Department and Courts. Applicants who were formerly incarcerated are not admitted if they are violent offenders or sex-offenders.

There are five (5) full-time staff members on-site. The staff members are not licensed therapists or counselors. Since the Ranch is not a medical facility, applicants who are prescribed psychiatric medication cannot be admitted into the program. There are also typically 1-2 part-time volunteers who are on-site most days.

The Ranch's program is organized in a one (1) year, three (3) phase approach which is required to be followed by participants, as follows:

- Phase 1 male residents/participants work and sleep full-time at the Ranch.
- Phase 2 male residents/participants live off-site and are transported daily via two (2) passenger transport vans, making the approximately nine-mile trip daily to and from the Ranch, and work full-time at the Ranch.
- Phase 1 male residents/participants and Phase 2 male participants are not allowed to drive their privately owned automobiles while performing Ranch duties, on or off-site.
- Phase 3 male participants live and work off-site at other employer venues and they are mentored while transitioning back into society.
- Phase 1 male residents/participants live on-site in the existing and proposed bunkhouse/dormitory facilities where up to 115 participants can be accommodated.
- Phase 2 and Phase 3 male participants live off-site in transitional housing. There are up to twenty-one (21) male participants in supervised housing as part of Phase 2 and up to twelve (12) male participants in supervised housing as part of Phase 3.
- The male residents/participants are scheduled to complete the three (3) phases within a one (1) year period.
- There are four (4) Ranch-owned trucks that are used by staff members for operational purposes such as transporting grain, providing meal services and helping to move residents/participants. Additionally, male residents/participants are transported via cars that have been donated to the Ranch for medical and other various appointments when necessary. Only approved Phase-2 licensed and insured Rancher Leaders and staff members are permitted to drive Ranch owned motor vehicles.
- Only the staff members living on-site have their own automobiles. Staff members live on-site year-round and double as the night and weekend security.

There are currently five (5) modular trailers on-site that are utilized as office space and to provide spaces for individual therapy appointments. Therapy is provided on-site to participants in both a group and individual setting utilizing tele-health services by licensed therapists.

Existing Conditions

The Project site is located on the southwest corner of S. Haynes Road and Verdugo Avenue in the desert region of Lucerne Valley with a flat topography. Surrounding the Project site is a single-family residence located 25 feet to the west, a single-family residence located 575 feet to the north, a single-family residence located 350 feet to the east, and a single-family residence located 75 feet to the south from the Project site. As a working ranch, the Project site is currently developed with a series of covered livestock pens, horse corrals, chicken cops, and shade structures.

Proposed Project

The Applicant is requesting approval of a Minor Use Permit to expand, establish and operate an unlicensed Residential Care Facility from forty (40) male residents/participants and five (5) staff members to a maximum of one hundred fifteen (115) male residents/participant and five (5) staff members, effectively an expansion of seventy-five (75) male residents/participants. To date, the existing Residential Care Facility has been operating without the appropriate land use permit.

Pursuant to Section 82.01.020(c)(1)(A) of the San Bernardino County Development Code, "[t]he AG (Agriculture) land use zoning district provides sites for commercial agricultural operations, agriculture support services, rural residential uses and similar and compatible uses." Correspondingly, pursuant to Section 82.03.040(b) of the San Bernardino County Development Code, an "Unlicensed Residential Care Facility of 7 or more persons" is permitted within the Agriculture (AG) zoning district, subject to the approval of a Minor Use Permit. Therefore, the proposed River's Edge Ranch project is conditionally permitted within the Agriculture (AG) zoning district.

PROJECT ANALYSIS

Land Use:

The proposed Project (Exhibit E) is comprised of the following:

- Expansion of an existing administration building from 1,387 square feet to 8,029 square feet.
- Construction of a new 11,114 square foot bunk house.
- Existing 994 square foot laundry building.
- Thirty-Eight (38) parking spaces.
- Operation of an Unlicensed Residential Care Facility.
 - Thirty (30) bedrooms for up to a maximum of 115 male residents/participants.
 - 24-hour staffing (5 employees).
 - Room and board with three (3) meals per day.
 - Laundry and cleaning services.
- The proposed Unlicensed Residential Care Facility will not be a temporary alcohol/drug rehabilitation housing facility.

Site Design:

The Project site will be developed with the expansion of an existing Unlicensed Residential Care Facility, along with the required parking and internal circulation improvements (Exhibit E). The proposed facility will be situated on the upper northeast corner of the subject 19.95-acre site facing towards S. Haynes Road. The Project plans have been reviewed and accepted by the Land Use Services Department's Building and Safety, Geology, and Land Development Divisions, and the Environmental Health Services, Fire Protection District, and Public Works (Traffic and Solid Waste Management) Departments.

The Preliminary Drainage Study has been approved by the Land Development Division, and the proposed Project has been conditioned to provide adequate provisions to intercept and conduct the tributary off-site and on-site 100-year drainage flows around and through the site in a manner that will not adversely affect adjacent or downstream properties at the time the site is developed.

Potable water supply will be provided to the Project site by two (2) existing private wells located on-site, which have been approved by the San Bernardino County Environmental Health Services (EHS). The Project site also currently has two (2) on-site septic tank systems with corresponding seepage pits. The proposed Project includes the installation of five (5) new 2,000-gallon septic tanks with corresponding seepage pits, which will receive final approval by EHS through the Building Permit process.

Access/Circulation:

Two (2) existing residential driveways from S. Haynes Road will be replaced with commercial driveway approaches to provide vehicular access onto the Project site and parking lot. The on-site circulation drive aisle meeting the San Bernardino County Development Code and San Bernardino County Fire Protection District standards is provided around the perimeter of the proposed facility. Pursuant to the Fire Protection District's standards, the internal access and parking lot native surfaces will be compacted to a minimum of 85% over natural grade. Street improvements along Haynes Road will not be required pursuant to a waiver approved by the Public Works Department. The Project's site plan has also been reviewed and accepted by the County's Land Use Services and Public Works Departments.

Landscaping:

Pursuant to Section 83.10.060(c)(2) and (4) (Desert Region) of the San Bernardino County Development Code, "[p]lant materials shall be a cohesive mix of evergreen and deciduous trees, shrubs, groundcovers, succulents, and native plant material that are drought and infestation tolerant; turf shall be minimized," and "[t]he front yard and street side yard setback areas of a parcel shall be landscaped using xeriscape landscaping techniques, which combines drought tolerant plant and hardscape materials in a variety of aesthetically pleasing designs. For sites where no disturbance of land within setbacks is proposed, landscaping shall not be required." The existing native planter area between the two (2) driveways along S. Haynes Road will be retained. There are no Joshua Trees existing on the Project site, and all existing plants protected by the State Desert Native Plants Act will be protected.

Parking:

Pursuant to Section 83.11.040 of the San Bernardino County Development Code, an unlicensed residential care facility of 7 or greater persons requires one (1) parking space for each bedroom plus one (1) parking space for the on-site manager. The proposed Project is comprised of the following:

- Administration building with two (2) bedrooms for the on-site manager and staff.
- Bunk House with thirty (30) dormitory-style bedrooms. Each bedroom has four (4) beds (two sets of bunkbeds) for the male residents/participants, which requires thirty (30) parking spaces.

Based on the requirement of the San Bernardino County Development Code, a total of thirty-one (31) parking spaces is required for the proposed Project. A total of thirty-eight (38) parking spaces is provided. Eighteen (18) parking spaces are provided on the north side of the administration building fronting S. Haynes Road, twelve (12) parking spaces are provided on the south side of the bunk house, and eight (8) parking spaces are provided on the east side of the bunk house.

Code Compliance Summary:

The proposed Project satisfies all applicable standards of the San Bernardino County Development Code for development within the Agriculture (AG) zoning district, as summarized below in Table 2:

TABLE 2: PROJECT CODE COMPLIANCE

Project Component	Development Code		Project Plans
Unlicensed residential care facility of 7 or more persons	Minor Use Permit		Minor Use Permit
Parking	31 spaces		38 Spaces
Minimum Building Setbacks	Front	25 Feet	100 Feet
	Side (west)	15 Feet	200 Feet
	Side (east)	25 Feet	80 Feet
	Rear	15 Feet	600 Feet
Maximum Building Height	35 Feet		35 Feet
Maximum Lot Coverage	N/A		0.02%

TABLE 3: COUNTYWIDE POLICY PLAN CONSISTENCY

Policy LU-2.1: Compatibility with Existing Uses	Consistency
We require that new development is located, scaled, buffered, and designed to minimize negative impacts on existing conforming uses and adjacent neighborhoods. We also require that new residential developments are located, scaled, buffered, and designed so as to not hinder the viability and continuity of existing conforming nonresidential development.	Considering the site design and development features for the operation of the Unlicensed Residential Care Facility consistent with the San Bernardino County Development Code, along with implementing the Conditions of Approval, the proposed Project minimizes negative impacts on the surrounding land uses and adjacent neighborhoods.
Policy LU-2.4: Land Use Map Consistency	Consistency
We consider the proposed development that is consistent with the Land Use Map (i.e., it does not require a change in Land Use Category), to be generally compatible and consistent with surrounding land uses and a community's identity. Additional site, building, and landscape design treatment, per other policies in the Policy Plan and development standards in the Development Code, may be required to maximize compatibility with surrounding land uses and community identity.	The development of the proposed Project conforms with the performance standards that are identified in the San Bernardino County Development Code. The Unlicensed Residential Care Facility is an allowed use within the Agriculture (AG) zoning district, as well as with the Resource Land Management (RLM) land use category, subject to the approval of a Minor Use Permit. Additionally, the proposed Project's site plan identifies compliance with the San Bernardino County Development Code.
Policy H-5.1 Housing Discrimination.	Consistency
We further fair housing opportunities by prohibiting discrimination in the housing market; providing education, support, and enforcement services to address discriminatory practices; and removing potential impediments to equal housing opportunity.	Pursuant to Chapter 84.31 of the San Bernardino County Development Code, as provided by State law, Major Reasonable Accommodation for the proposed Unlicensed Residential Care Facility removes potential impediments to equal housing opportunities.

CALIFORNIA ENVIRONMENTAL QUALITY ACT COMPLIANCE

An Initial Study/Mitigated Negative Declaration (IS/MND) was prepared in compliance with the California Environmental Quality Act (CEQA) (Exhibit A). The IS/MND concludes that the proposed Project will not have a significant effect on the environment with implementation of mitigation measures related to the Project's impacts on Biological Resources, Cultural Resources, and Tribal Cultural Resources.

A Notice of Availability/Notice of Intent to adopt a Mitigated Negative Declaration (MND) was advertised and distributed for the CEQA mandated public review and comment for a 30-day period from June 30, 2025, through July 29, 2025. A comment letter was received from the Department of Toxic Substances Control (DTSC), dated July 2, 2025 (Exhibit F), requesting further testing during ground disturbance activities. A comment letter was also received from the Department of Fish and Wildlife (DFW), dated July 10, 2025 (Exhibit G), recommending revisions to the mitigation measures relating to Biological Resources. Accordingly, the Errata and responses to the letters from DTSC and DFW (Exhibit H) have been prepared and included in the final document. A Mitigation Monitoring and Reporting Program (Exhibit B) has also been prepared pursuant to CEQA.

PROJECT NOTICE

On July 26, 2022, a Project Notice was mailed to the fifteen (15) surrounding property owners within 300 feet of the Project site, as required by Section 85.03.080 of the Development Code. A total of twelve (12) responses were received, all in support of the project because of the positive effect on changing the lives of troubled men (EXHIBIT I).

NOTICE OF HEARING

On November 25, 2025, a Notice of Hearing was mailed to the fifteen (15) surrounding property owners within 300 feet of the Project site, as required by Section 86.07.020 of the Development Code. At the time of the preparation of this report, no public comment letters have been received.

RECOMMENDATION

That the Zoning Administrator take the following actions:

- 1) **ADOPT** the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program (EXHIBITS A, B and H);
- 2) **ADOPT** the Findings in support of the Minor Use Permit (EXHIBIT C);
- 3) **APPROVE** the Minor Use Permit for the operation of an unlicensed Residential Care Facility for a maximum of one hundred fifteen (115) male residents/participants and five (5) staff members. This includes the expansion of an existing unlicensed Residential Care Facility for forty (40) male occupants and five (5) staff members. This would be accomplished with the expansion of an existing administration building from 1,387 square feet to 8,029 square feet, construction of a new 11,114 square foot bunk house, an existing 994 square foot laundry building, and thirty-eight (38) parking spaces on 19.95 acres, subject to the recommended Conditions of Approval (EXHIBIT D); and
- 4) **DIRECT** the Land Use Services Department to file the Notice of Determination in accordance with the California Environmental Quality Act.

ATTACHMENTS:

- EXHIBIT A: Mitigated Negative Declaration, link:
<https://lus.sbcounty.gov/wp-content/uploads/sites/48/Draft-ISMND-2.pdf>
- EXHIBIT B: Mitigation Monitoring and Reporting Program
- EXHIBIT C: Findings for Minor Use Permit
- EXHIBIT D: Conditions of Approval
- EXHIBIT E: Project Plans
- EXHIBIT F: Letter from Department of Toxic Substances Control
- EXHIBIT G: Letter from Department of Fish and Wildlife
- EXHIBIT H: Errata and Responses to Letter from Department of Fish and Wildlife
- EXHIBIT I: Project Notice Comment Letters

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EXHIBIT A

MITIGATED NEGATIVE DECLARATION

<https://lus.sbcounty.gov/wp-content/uploads/sites/48/Draft-ISMND-2.pdf>

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EXHIBIT B

MITIGATION MONITORING AND REPORTING PROGRAM

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Mitigation Monitoring and Reporting Program

Initial Study/Mitigated Negative Declaration PROJ-2021-00153

The River's Edge Ranch APN: 0453-062-14

Lead Agency:

San Bernardino County, Land Use Services Department
385 N. Arrowhead Avenue, 1st Floor
San Bernardino, CA 92415-0182
Contact: Oliver Mujica, Contract Planner III

August 2025

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SECTION 1.0 INTRODUCTION

The California Environmental Quality Act (CEQA) requires that a public agency adopting a Mitigated Negative Declaration (MND) take affirmative steps to determine that approved mitigation measures are implemented after project approval. The lead or responsible agency must adopt a reporting and monitoring program for the mitigation measures incorporated into a project or included as conditions of approval. The program must be designed to ensure compliance with the MND during project implementation (California Public Resources Code, Section 21081.6(a)(1)).

This Mitigation Monitoring and Reporting Program (MMRP) will be used by San Bernardino County (County) to ensure compliance with adopted mitigation measures identified in the MND for the proposed Minor Use Permit (MUP) when construction begins. The County, as the lead agency, will be responsible for ensuring that all mitigation measures are carried out. Implementation of the mitigation measures would reduce impacts to below a level of significance for biological resources, cultural resources, and tribal cultural resources.

With the IS/MND and related documents, this MMRP will be kept on file at the following location:

San Bernardino County
385 N. Arrowhead Avenue, First Floor
San Bernardino, California 92415

SECTION 2.0 MITIGATION MONITORING AND REPORTING PROGRAM

Pursuant to State *CEQA Guidelines* Section 15097, a written monitoring and reporting program has been compiled to verify implementation of adopted mitigation measures. "Monitoring" refers to the ongoing or periodic process of Project oversight provided by the "Responsible Party" listed in the following table. "Reporting" refers to written compliance review that will be presented to the decision-making body or authorized staff person identified in the table below. A report can be required at various stages throughout the Project implementation or upon completion of the mitigation measure. The following table provides the required information which includes identification of the potential impact, various mitigation measures, applicable implementation timing, agencies responsible for implementation, and the monitoring/reporting method for each mitigation measure identified.

The following list clarifies the meaning of each column in the following table:

Mitigation Measure	Those measures that will be implemented to minimize potential significant environmental impacts.
Implementation Timing	The phase of the project in which implementation and compliance will be monitored.
Party Responsible for Implementation	Entity responsible for monitoring implementing the mitigation measure.
Party Responsible for Monitoring	Entity responsible for monitoring implementation of the mitigation measure.
Date of Completion/ Notes	To be signed and dated by the County of San Bernardino – Land Use Services Department upon receipt of written verification of each mitigation measure.

The Mitigation Monitoring and Reporting Program commences on the next page.

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
Biological Resources				
<p>MM BIO-1: Preconstruction surveys for desert tortoise shall be conducted by a qualified biologist no more than 14 days prior to the start of Project-related activities prior to ground disturbance within the Project site and any off-site areas in which construction activities, including staging, would occur to determine if any desert tortoise have moved in. Surveys shall be consistent with the U.S. Fish and Wildlife Service's Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise (<i>Gopherus agassizii</i>) (2019). The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows). In the event that desert tortoise are found within the Project site and any off-site areas in which construction activities, including staging, would occur, work shall be halted immediately and consultation shall occur with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize "take" of desert tortoise. If ground disturbing activities on the Project site are</p>	<p>No less than 14 days prior to the start of Project-related activities prior to ground disturbance</p>	<p>Project Applicant and Qualified Biologist</p>	<p>San Bernardino County</p>	

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
delayed or suspended for more than 30 days after the preconstruction survey, the Project area shall be resurveyed for desert tortoise.				
MM BIO-2: In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. Regardless of the time of year, a pre-activity field survey shall be conducted by a qualified biologist no more than 3 days prior to any ground disturbing activities on the Project site to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks,	No more than 3 days prior to ground disturbing activities.	Project Applicant and Qualified Biologist	San Bernardino County	

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
flushing suddenly from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors). If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine its status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the active nest is appropriate. The qualified biologist shall monitor the active nest(s) at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall use their best professional judgement to determine the frequency for monitoring all existing active nests, Monitoring efforts shall cease for any given nest once that nest is determined inactive. If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site,				

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
construction in the vicinity of the nest shall immediately halt and the County shall contact CDFW Inland Deserts Region 6.				
MM BIO-3: Presence/absence surveys for burrowing owl shall be conducted by a qualified biologist no less than 14 days prior to the initiation of ground disturbing Project-related activities and again within 24-hours prior to ground disturbance within the Project site. Surveys shall be consistent with the California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Applicant shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Applicant shall obtain a California Endangered Species Act Incidental Take Permit from CDFW.	No less than 14 days prior to the start of ground disturbing activities and again within 24 hours prior to ground disturbing activities	Project Applicant and Qualified Biologist	San Bernardino County	

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
Cultural Resources				
MM CUL-1: In the event that cultural resources are discovered during project activities, all work in the immediate vicinity of the find (within a 60-foot buffer) shall cease and a qualified archaeologist meeting Secretary of Interior standards shall be hired to assess the find. Work on the other portions of the project outside of the buffered area may continue during this assessment period. Additionally, the Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) shall be contacted, as detailed within MM TCR-1 , regarding any pre-contact and/or historic-era finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment.	During project activities, if cultural resources are discovered	Project Applicant and Qualified Archaeologist	San Bernardino County	

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
MM CUL-2: If significant pre-contact and/or historic-era cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to YSMN for review and comment, as detailed within MM TCR-1 . The archaeologist shall monitor the remainder of the project and implement the Plan accordingly.	During project activities, if cultural resources are discovered	Project Applicant and Qualified Archaeologist	San Bernardino County	
MM CUL-3: In the event human remains or funerary objects are encountered during any activities associated with the project, work in the immediate vicinity (within a 100-foot buffer of the find) shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5 and that code enforced for the duration of the Project.	During project activities, if human remains are discovered	Project Applicant and County Coroner	San Bernardino County	

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
Tribal Cultural Resources				
MM TCR-1: The Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) shall be contacted, as detailed in MM CR-1 , of any pre-contact and/or historic-era cultural resources discovered during project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with YSMN, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents YSMN for the remainder of the project, should YSMN elect to place a monitor on-site.	During project activities, if cultural resources are discovered	Project Applicant and Qualified Archaeologist	San Bernardino County	

Table 1 – Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Timing	Party Responsible for Implementation	Party Responsible for Monitoring	Date of Completion/ Notes
MM TCR-2: Any and all archaeological/cultural documents created as a part of the project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to YSMN. The Lead Agency and/or applicant shall, in good faith, consult with YSMN throughout the life of the project.	During project activities, if cultural resources are discovered	Project Applicant and San Bernardino County	San Bernardino County	

EXHIBIT C

FINDINGS FOR MINOR USE PERMIT

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FINDINGS: MINOR USE PERMIT. Minor Use Permit to expand, establish and operate an unlicensed Residential Care Facility for a maximum of one hundred fifteen (115) male residents/occupants and five (5) staff members. This includes the expansion of an existing administration building from 1,387 square feet to 8,029 square feet, construction of a new 11,114 square foot bunk house, an existing 994 square foot laundry building, and thirty-eight (38) parking spaces on 19.95 acres (Project). The following are the required findings per the San Bernardino County Development Code Section 85.06.040 and supporting facts for approval of the Conditional Use Permits:

1. **The site for the proposed use is adequate in terms of shape and size to accommodate the proposed use and all landscaping, loading areas, open spaces, parking areas, setbacks, walls and fences, yards, and other required features pertaining to the application.**

The 19.95-acre Project site is adequate in terms of shape and size to accommodate the proposed unlicensed Residential Care Facility. The Project site size is able to accommodate adequate vehicular access to the thirty-eight (38) off-street parking spaces in accordance with the San Bernardino County Development Code. The submitted Project plans demonstrate adequate design, parking, and circulation and access as shown on the Project site plan in compliance with the San Bernardino County Development Code.

2. **The site for the proposed use has adequate access, which means that the site design incorporates appropriate street and highway characteristics to serve the proposed use.**

Two (2) existing residential driveways from S. Haynes Road will be replaced with commercial driveway approaches to provide vehicular access onto the Project site and parking lot. The on-site circulation drive aisle meeting the San Bernardino County Development Code and San Bernardino County Fire Protection District standards is provided around the perimeter of the proposed facility. Pursuant to the Fire Protection District's standards, the internal access and parking lot areas will be constructed to a minimum of 85% compacted surfaces over natural grade. Street improvements along Haynes Road will not be required pursuant to a waiver approved by the Public Works Department. The Project's site plan has also been reviewed by the County's Land Use Services and Public Works Departments.

3. **The proposed use will not have a substantial adverse effect on abutting properties or the allowed use of the abutting properties, which means that the use will not generate excessive noise, traffic, vibration, lighting, glare, or other disturbance. In addition, the use will not substantially interfere with the present or future ability to use solar energy systems.**

The Project has been designed, and the existing improvements have been maintained, to comply with all applicable requirements of the San Bernardino County Development Code. The Conditions of Approval for the Project will ensure that the use will not become a nuisance relating to noise, lighting, or have a substantial adverse effect on abutting properties.

4. **The proposed use and manner of development are consistent with the goals, maps, policies, and standards of the County General Plan and any applicable community or specific plan.**

Policy LU-2.1 Compatibility with Existing Uses

We require that new development is located, scaled, buffered, and designed to minimize negative impacts on existing conforming uses and adjacent neighborhood.

Consistency: Considering features of the site design with the existing improvements, the establishment and operation of the Residential Care Facility is consistent with the San Bernardino County Development Code, along with implementing the Conditions of Approval, the Project minimizes negative impacts on the surrounding land uses and adjacent neighborhoods.

Policy LU-2.4 Land Use Map Consistency.

We consider the proposed development that is consistent with the Land Use Map (i.e., it does not require a change in Land Use Category), to be generally compatible and consistent with surrounding land uses and a community's identity. Additional site, building, and landscape design treatment, per other policies in the Policy Plan and development standards in the San Bernardino County Development Code, may be required to maximize compatibility with surrounding land uses and community identity.

Consistency: The existing and proposed improvements associated with the Project conform with the performance standards that are identified in the San Bernardino County Development Code. A Residential Care Facility is an allowed use within the Agricultural (AG) zoning district, subject to the approval of a Minor Use Permit. Additionally, the Project site plan identifies compliance with the San Bernardino County Development Code.

Policy H-5.1 Housing Discrimination.

We further fair housing opportunities by prohibiting discrimination in the housing market; providing education, support, and enforcement services to address discriminatory practices; and removing potential impediments to equal housing opportunity.

Consistency: Pursuant to Chapter 84.31 of the San Bernardino County Development Code, as provided by State law, Major Reasonable Accommodation for the proposed Unlicensed Residential Care Facility removes potential impediments to equal housing opportunities.

5. **There is supporting infrastructure, existing or available, consistent with the intensity of the development, to accommodate the proposed Project without significantly lowering service levels.**

The applicant will be required to continue to provide adequate utilities, including water and properly sized on-site wastewater treatment facilities, to the property in accordance with the Conditions of Approval.

6. **The lawful conditions stated in the approval are deemed reasonable and necessary to protect the public health, safety and general welfare.**

The Conditions of Approval ensure that the intended use of the Project is appropriate, and that the overall public health, safety, and general welfare are not impacted by the Project.

7. **The design of the Project site has considered the potential for the use of solar energy systems and passive or natural heating and cooling opportunities.**

The orientation and design of the Project include adequate building setbacks and the future ability to construct roof-top solar facilities.

8. **There are no circumstances that would result in standards or conditions not being able to adequately mitigate environmental impacts.**

Pursuant to the requirements of the California Environmental Quality Act (CEQA) and as a result of the adopted Mitigated Negative Declaration, a Mitigation Monitoring and Reporting Program to reduce any potential environmental impacts to a level below significance.

9. The project is planned for immediate development and does not include a phased development.

The Project involves the operation of an unlicensed Residential Care Facility for a maximum of one hundred fifteen (115) male occupants and five (5) staff members. The expansion of the existing administration building and construction of the new bunk house will not be completed in phases and is not approved to be completed in any such phased manner.

10. The project is not likely to result in controversy. If the proposed project fails to satisfy any of the findings identified in this Subdivision, it shall only be processed as a Conditional Use Permit in compliance with this Chapter.

Pursuant to Section 85.03.080 of the San Bernardino County Development Code, on July 26, 2022, a Project Notice was mailed to the surrounding fifteen (15) property owners within 300 feet of the Project site advising them of the application received for the Project. A total of twelve (12) support letters were received, all in support of the project because of the positive effect on changing the lives of troubled men. Therefore, the Project is not likely to result in controversy.

ENVIRONMENTAL FINDINGS:

The environmental findings, in accordance with Section 85.03.040 of the San Bernardino County Development Code, are as follows:

Pursuant to the requirements of the California Environmental Quality Act (CEQA), CEQA Guidelines and the San Bernardino County Environmental Review Guidelines, the above-referenced Project has been determined to not have a significant adverse impact on the environment with the implementation of all the required mitigation measures. A Mitigated Negative Declaration (MND) is adopted and a Notice of Determination will be filed in accordance with CEQA. The MND was considered along with public comments and the Errata. The revisions in the Errata include information that merely clarifies, amplifies, or makes insignificant modifications to the MND regarding the Project's potential biological resources impacts. The revisions do not constitute a substantial revision to the MND that require recirculation. Accordingly, the Adopted Mitigation Monitoring and Reporting Program incorporates the appropriate revisions. The MND represents the independent judgment and analysis of the County acting as lead agency for the Project.

END OF FINDINGS

EXHIBIT D

CONDITIONS OF APPROVAL

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Conditions of Approval

Record:	PROJ-2021-00153	System Date:	12/11/2025
Record Type:	Project Application	Primary APN:	0453062140000
Record Status:	In Review	Application Name:	MINOR USE PERMIT
Effective Date:		Expiration Date:	

Description: A MINOR USE PERMIT FOR THE EXPANSION, ESTABLISHMENT AND OPERATION OF AN UNLICENSED RESIDENTIAL CARE FACILITY FOR A MAXIMUM OF 115 MALE RESIDENTS/ PARTICIPANTS AND 5 STAFF MEMBERS INCLUDING THE EXPANSION OF AN EXISTING ADMINISTRATION BUILDING FROM 1,387 SQUARE FEET TO 8,029 SQUARE FEET, CONSTRUCTION OF A NEW 11,114 SQUARE FOOT BUNK HOUSE, AN EXISTING 994 SQUARE FOOT LAUNDRY BUILDING, AND 38 PARKING SPACES ON 19.95 ACRES, LOCATED AT 33433 S. HAYNES ROAD, LUCERNE VALLEY; WITHIN THE COUNTYWIDE POLICY PLAN RESOURCE LAND MANAGEMENT (RLM) LAND USE CATEGORY, AGRICULTURAL (AG) ZONING DISTRICT; APN: 0453-062-14; 3RD SUPERVISORIAL DISTRICT; PROJECT NUMBER: PROJ-2021-00153

This document does not signify project approval.

If the project has been approved, then an effective date and an expiration date for these conditions can be found below. This content reflects County records as at the System Date and time below.

The following conditions of approval have been imposed for the project identified below. The applicant/developer shall complete all conditions of approval stipulated in the approval letter.

Conditions of Approval are organized by project phase, then by status, and finally by department imposing the condition.

On-going conditions must be complied with at all times. For assistance interpreting the content of this document, please contact the Land Use Services Department Planning Division.

Contact information is provided at the end of this document for follow-up on individual conditions.

2 Project Location - Status: Outstanding

The Project site is located at 33433 Haynes Road (APN: 0453-062-14).

3 Revisions - Status: Outstanding

Any proposed change to the approved Project and/or conditions of approval shall require that an additional land use application (e.g. Revision to an Approved Action) be submitted to County Land Use Services for review and approval.

4 Indemnification - Status: Outstanding

In compliance with SBCC §81.01.070, the developer shall agree, to defend, indemnify, and hold harmless the County or its "indemnitees" (herein collectively the County's elected officials, appointed officials (including Planning Commissioners), Zoning Administrator, agents, officers, employees, volunteers, advisory agencies or committees, appeal boards or legislative body) from any claim, action, or proceeding against the County or its indemnitees to attack, set aside, void, or annul an approval of the County by an indemnitee concerning a map or permit or any other action relating to or arising out of County approval, including the acts, errors or omissions of any person and for any costs or expenses incurred by the indemnitees on account of any claim, except where such indemnification is prohibited by law. In the alternative, the developer may agree to relinquish such approval. Any condition of approval imposed in compliance with the County Development Code or County General Plan shall include a requirement that the County acts reasonably to promptly notify the developer of any claim, action, or proceeding and that the County cooperates fully in the defense. The developer shall reimburse the County and its indemnitees for all expenses resulting from such actions, including any court costs and attorney fees, which the County or its indemnitees may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the developer of their obligations under this condition to reimburse the County or its indemnitees for all such expenses. This indemnification provision shall apply regardless of the existence or degree of fault of indemnitees. The developer's indemnification obligation applies to the indemnitees' "passive" negligence but does not apply to the indemnitees' "sole" or "active" negligence or "willful misconduct" within the meaning of Civil Code Section 2782.

5 Additional Permits - Status: Outstanding

The developer shall ascertain compliance with all laws, ordinances, regulations and any other requirements of Federal, State, County and Local agencies that may apply for the development and operation of the approved land use. These may include but are not limited to: a. FEDERAL: b. STATE: c. COUNTY: d. LOCAL:

6 Expiration - Status: Outstanding

This project permit approval shall expire and become void if it is not "exercised" within three (3) years of the effective date of this approval, unless an extension of time is approved. The permit is deemed "exercised" when either: (a.) The permittee has commenced actual construction or alteration under a validly issued building permit, or (b.) The permittee has substantially commenced the approved land use or activity on the project site, for those portions of the project not requiring a building permit. (SBCC §86.06.060) (c.) Occupancy of approved land use, occupancy of completed structures and operation of the approved and exercised land use remains valid continuously for the life of the project and the approval runs with the land, unless one of the following occurs: - Construction permits for all or part of the project are not issued or the construction permits expire before the structure is completed and the final inspection is approved. - The land use is determined by the County to be abandoned or non-conforming. - The land use is determined by the County to be not operating in compliance with these conditions of approval, the County Code, or other applicable laws, ordinances or regulations. In these cases, the land use may be subject to a revocation hearing and possible termination. PLEASE NOTE: This will be the ONLY notice given of this approval's expiration date. The developer is responsible to initiate any Extension of Time application.

7 **Continuous Effect/Revocation** - Status: Outstanding

All of the conditions of this project approval are continuously in effect throughout the operative life of the project for all approved structures and approved land uses/activities. Failure of the property owner or developer to comply with any or all of the conditions at any time may result in a public hearing and possible revocation of the approved land use, provided adequate notice, time and opportunity is provided to the property owner, developer or other interested party to correct the non-complying situation.

8 **Extension of Time** - Status: Outstanding

Extensions of time to the expiration date (listed above or as otherwise extended) may be granted in increments each not to exceed an additional three years beyond the current expiration date. An application to request consideration of an extension of time may be filed with the appropriate fees no less than thirty days before the expiration date. Extensions of time may be granted based on a review of the application, which includes a justification of the delay in construction and a plan of action for completion. The granting of such an extension request is a discretionary action that may be subject to additional or revised conditions of approval or site plan modifications. (SBCC §86.06.060)

9 **Project Account** - Status: Outstanding

The Project account number is PROJ-2021-00153. This is an actual cost project with a deposit account to which hourly charges are assessed by various county agency staff (e.g. Land Use Services, Public Works, and County Counsel). Upon notice, the "developer" shall deposit additional funds to maintain or return the account to a positive balance. The "developer" is responsible for all expense charged to this account. Processing of the project shall cease, if it is determined that the account has a negative balance and that an additional deposit has not been made in a timely manner. A minimum balance of \$1,000.00 must be in the project account at the time the Condition Compliance Review is initiated. Sufficient funds must remain in the account to cover the charges during each compliance review. All fees required for processing shall be paid in full prior to final inspection, occupancy and operation of the approved use.

10 **Development Impact Fees** - Status: Outstanding

Additional fees may be required prior to issuance of development permits. Fees shall be paid as specified in adopted fee ordinances

11 **Performance Standards** - Status: Outstanding

The approved land uses shall operate in compliance with the general performance standards listed in the County Development Code Chapter 83.01, regarding air quality, electrical disturbance, fire hazards (storage of flammable or other hazardous materials), heat, noise, vibration, and the disposal of liquid waste.

12 **Continuous Maintenance** - Status: Outstanding

The Project property owner shall continually maintain the property so that it is visually attractive and not dangerous to the health, safety and general welfare of both on-site users (e.g. employees) and surrounding properties. The property owner shall ensure that all facets of the development are regularly inspected, maintained and that any defects are timely repaired. Among the elements to be maintained, include but are not limited to: a) Annual maintenance and repair: The developer shall conduct inspections for any structures, fencing/walls, driveways, and signs to assure proper structural, electrical, and mechanical safety. b) Graffiti and debris: The developer shall remove graffiti and debris immediately through weekly maintenance. c) Landscaping: The developer shall maintain landscaping in a continual healthy thriving manner at proper height for required screening. Drought-resistant, fire retardant vegetation shall be used where practicable. Where landscaped areas are irrigated it shall be done in a manner designed to conserve water, minimizing aerial spraying. d) Dust control: The developer shall maintain dust control measures on any undeveloped areas where landscaping has not been provided. e) Erosion control: The developer shall maintain erosion control measures to reduce water runoff, siltation, and promote slope stability. f) External Storage: The developer shall maintain external storage, loading, recycling and trash storage areas in a neat and orderly manner, and fully screened from public view. Outside storage shall not exceed the height of the screening walls. g) Metal Storage Containers: The developer shall NOT place metal storage containers in loading areas or other areas unless specifically approved by this or subsequent land use approvals. h) Screening: The developer shall maintain screening that is visually attractive. All trash areas, loading areas, mechanical equipment (including roof top) shall be screened from public view. i) Signage: The developer shall maintain all on-site signs, including posted area signs (e.g. "No Trespassing") in a clean readable condition at all times. The developer shall remove all graffiti and repair vandalism on a regular basis. Signs on the site shall be of the size and general location as shown on the approved site plan or subsequently a County-approved sign plan. j) Lighting: The developer shall maintain any lighting so that they operate properly for safety purposes and do not project onto adjoining properties or roadways. Lighting shall adhere to applicable glare and night light rules. k) Parking and on-site circulation: The developer shall maintain all parking and on-site circulation requirements, including surfaces, all markings and traffic/directional signs in an un-faded condition as identified on the approved site plan. Any modification to parking and access layout requires the Planning Division review and approval. The markings and signs shall be clearly defined, un-faded and legible; these include parking spaces, disabled space and access path of travel, directional designations and signs, stop signs, pedestrian crossing, speed humps and "No Parking", "Carpool", and "Fire Lane" designations. l) Fire Lanes: The developer shall clearly define and maintain in good condition at all times all markings required by the Fire Department, including "No Parking" designations and "Fire Lane" designations.

13 **Clear Sight Triangle** - Status: Outstanding

Adequate visibility for vehicular and pedestrian traffic shall be provided at clear sight triangles at all 90 degree angle intersections of public rights-of-way and private driveways. All signs, structures and landscaping located within any clear sight triangle shall comply with the height and location requirements specified by County Development Code (SBCC§ 83.02.030) or as otherwise required by County Traffic

14 **Lighting** - Status: Outstanding

Lighting shall comply with Table 83-7 "Shielding Requirements for Outdoor Lighting in the Mountain Region and Desert Region" of the County's Development Code (i.e. "Dark Sky" requirements). All lighting shall be limited to that necessary for maintenance activities and security purposes. This is to allow minimum obstruction of night sky remote area views. No light shall project onto adjacent roadways in a manner that interferes with on-coming traffic. All signs proposed by this project shall only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or in the case of an approved electronic message center sign, an alternating message no more than once every five seconds.

15 **Underground Utilities** - Status: Outstanding

No new above-ground power or communication lines shall be extended to the site. All required utilities shall be placed underground in a manner that complies with the California Public Utilities Commission General Order 128, and avoids disturbing any existing/natural vegetation or the site appearance.

16 **Construction Hours** - Status: Outstanding

Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m., Monday through Saturday in accordance with the County of San Bernardino Development Code standards. No construction activities are permitted outside of these hours or on Sundays and Federal holidays.

17 **Construction Noise** - Status: Outstanding

The following measures shall be adhered to during the construction phase of the project: - All construction equipment shall be muffled in accordance with manufacturer's specifications. - All construction staging shall be performed as far as possible from occupied dwellings. The location of staging areas shall be subject to review and approval by the County prior to the issuance of grading and/or building permits. - All stationary construction equipment shall be placed in a manner so that emitted noise is directed away from sensitive receptors (e.g. residences and schools) nearest the project site.

18 **Cultural Resources** - Status: Outstanding

During grading or excavation operations, should any potential paleontological or archaeological artifacts be unearthed or otherwise discovered, the San Bernardino County Museum shall be notified and the uncovered items shall be preserved and curated, as required. For information, contact the County Museum, Community and Cultural Section, telephone (909) 798-8570.

19 **GHG - Operational Standards** - Status: Outstanding

The developer shall implement the following as greenhouse gas (GHG) mitigation during the operation of the approved project: a. Waste Stream Reduction. The "developer" shall provide to all tenants and project employees County-approved informational materials about methods and need to reduce the solid waste stream and listing available recycling services. b. Vehicle Trip Reduction. The "developer" shall provide to all tenants and project employees County-approved informational materials about the need to reduce vehicle trips and the program elements this project is implementing. Such elements may include: participation in established ride-sharing programs, creating a new ride-share employee vanpool, designating preferred parking spaces for ride sharing vehicles, designating adequate passenger loading and unloading for ride sharing vehicles with benches in waiting areas, and/or providing a web site or message board for coordinating rides. c. Provide Educational Materials. The developer shall provide to all tenants and staff education materials and other publicity about reducing waste and available recycling services. The education and publicity materials/program shall be submitted to County Planning for review and approval. The developer shall also provide to all tenants and require that the tenants shall display in their stores current transit route information for the project area in a visible and convenient location for employees and customers. d. Landscape Equipment. The developer shall require in the landscape maintenance contract and/or in onsite procedures that a minimum of 20% of the landscape maintenance equipment shall be electric-powered.

Public Health– Environmental Health Services

20 **Noise Levels** - Status: Outstanding

Noise level shall be maintained at or below County Standards, Development Code Section 83.01.080.

21 **OWTS Maintenance** - Status: Outstanding

The onsite wastewater treatment system shall be maintained so as not to create a public nuisance and shall be serviced by an EHS permitted pumper.

22 **Refuse Storage and Disposal** - Status: Outstanding

All refuse generated at the premises shall at all times be stored in approved containers and shall be placed in a manner so that environmental public health nuisances are minimized. All refuse not containing garbage shall be removed from the premises at least 1 time per week, or as often as necessary to minimize public health nuisances. Refuse containing garbage shall be removed from the premises at least 2 times per week, or as often if necessary to minimize public health nuisances, by a permitted hauler to an approved solid waste facility in conformance with San Bernardino County Code Chapter 8, Section 33.0830 et. seq.

Public Works - Traffic

- 23 **Access** - Status: Outstanding
The access point to the facility shall remain unobstructed at all times, except a driveway access gate which may be closed after normal working hours.
- 24 **Back Out Into Public Roadways** - Status: Outstanding
Project vehicles shall not back up into the project site nor shall they back out into the public roadway.

INFORMATIONAL**County Fire - Community Safety**

- 25 **F01 Jurisdiction** - Status: Outstanding
The above referenced project is under the jurisdiction of the San Bernardino County Fire Department herein "Fire Department". Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
- 26 **F03 Fire Condition Letter Expiration** - Status: Outstanding
Fire Condition Letters shall expire on the date determined by the Planning Division or Building and Safety.
- 27 **F15 Access – 30% slope** - Status: Outstanding
Where the natural grade between the access road and building is in excess of thirty percent (30%), an access road shall be provided within one hundred and fifty (150) feet of all buildings. Where such access cannot be provided, a fire protection system shall be installed. Plans shall be submitted to and approved by the Fire Department. This condition shall be completed in phase one of project.
- 28 **F17 Access Road Grade** - Status: Outstanding
Fire access roadways shall not exceed a maximum of twelve (12%) percent grade at any point. Fire access roadways or driveways may be increased to fourteen (14%) percent grade for a distance not to exceed five hundred (500) feet. Fire access roadways providing access to no more than two (2) one or two-family dwellings may be increased to a maximum of sixteen (16%) percent grade not to exceed five hundred (500) feet. Grades across the width of a fire access roadways shall not exceed five (5%) percent. In order to accommodate proper angles of approach and departure, gradient shall not exceed five (5%) percent change along any ten (10) foot section. This condition shall be completed in phase one of project.
- 29 **F20 Access – 150+ feet** - Status: Outstanding
Roadways exceeding one hundred fifty (150) feet in length shall be approved by the Fire Department. Roadways shall be extended to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. This condition shall be completed in each phase for each building prior to construction.
- 30 **F36 Sprinkler Installation Letter** - Status: Outstanding
The applicant shall submit a letter to the Fire Department agreeing and committing to installation of a fire protection system prior to the building inspection for drywall and insulation.
- 31 **F60 Solar Plans** - Status: Outstanding
Solar/PV Plans shall be submitted to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal.

- 32 **F71 Proposal Changes** - Status: Outstanding
Any changes to this proposal shall require new Fire Department condition letter.

Land Use Services - Land Development

- 33 **Tributary Drainage** - Status: Outstanding
Adequate provisions should be made to intercept and conduct the tributary off-site and on-site 100-year drainage flows around and through the site in a manner that will not adversely affect adjacent or downstream properties at the time the site is developed. The project site shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions.

Public Works - Solid Waste Management

- 34 **Demolition Debris** - Status: Outstanding
San Bernardino County owned and operated sanitary landfills and transfer stations are not permitted to accept asbestos contaminated wastes, therefore any debris generated by the demolition of structures are subject to asbestos clearance prior to disposal at any San Bernardino County disposal sites. Applicants are required to have a Certified Asbestos Consultant perform testing of all materials to be disposed. Upon receipt of the Consultant's report, indicating that the debris is not contaminated, Solid Waste Management Operations Section will provide applicant with disposal authorization. For more information on Certified Asbestos Consultants please visit <http://www.dir.ca.gov/databases/doshacru/acruList.asp>, or for information on County requirements please contact Solid Waste Operations at 909-386-8701 or solid.wastemail@dpw.sbcounty.gov.
- 35 **Franchise Hauler Service Area** - Status: Outstanding
This project falls within a County Franchise Area. If subscribing for the collection and removal of construction and demolition waste from the project site, all developers, contractors, and subcontractors shall be required to receive services through the grantee holding a franchise agreement in the corresponding County Franchise Area (Burrtec Waste and Recycling).
- 36 **Mandatory Commercial Organics Recycling** - Status: Outstanding
California Assembly Bill (AB) 1826 requires businesses that generate two (2) cubic yards or more of solid waste per week to recycle their organic waste (includes green waste and food waste). A business that is a property owner may require a lessee or tenant of that property to source separate their organic waste to aid in compliance. Additionally, all businesses that contract for gardening or landscaping services must stipulate that the contractor recycle the resulting gardening or landscaping waste. Residential multifamily dwellings of five (5) or more units are required to recycle organics; however, they are not required to arrange for recycling services specifically for food waste. Applicant will be required to report to the County or contract waste hauler on efforts to recycle organics materials once operational.
- 37 **Mandatory Commercial Recycling** - Status: Outstanding
California Assembly Bill (AB) 341 requires businesses that generate 4 or more cubic yards of solid waste per week or is a multi-family residential dwelling of 5 units or more to arrange for recycling services. The County is required to monitor commercial recycling and will require businesses to provide recycling information. Applicant will be required to report to the County or contract waste hauler on recycling efforts once operational.
- 38 **Recycling and Organic Waste Collection Container Information** - Status: Outstanding
California Assembly Bill (AB) 827 and Senate Bill (SB) 1383 require businesses that sell products meant for immediate consumption and currently provide trash collection containers for their customers to provide recycling and/or organics collection containers adjacent to trash containers at front-of-house, except in restrooms. Full-service restaurants are exempt from these requirements as long as they provide containers for employees to separate post-consumer recyclables and organic waste purchased on the premise for customers.

39 **Recycling Storage Capacity** - Status: Outstanding

The developer shall provide adequate space and storage bins for both refuse and recycling materials. This requirement is to assist the County in compliance with the recycling requirements of California Assembly Bill (AB) 2176.

PRIOR TO LAND DISTURBANCE

Land Use Services - Planning

40 **Air Quality** - Status: Outstanding

Although the Project does not exceed Mojave Desert Air Quality Management District thresholds, the Project proponent is required to comply with all applicable rules and regulations as the Mojave Desert Air Quality Management District is in non-attainment status for ozone and suspended particulates [PM10 and PM2.5 (State)]. To limit dust production, the Project proponent must comply with Rules 402 nuisance and 403 fugitive dust, which require the implementation of Best Available Control Measures for each fugitive dust source. This would include, but not be limited to, the following Best Available Control Measures. Compliance with Rules 402 and 403 are mandatory requirements and thus not considered mitigation measures: a. The Project proponent shall ensure that any portion of the site to be graded shall be pre-watered prior to the onset of grading activities. 1. The Project proponent shall ensure that watering of the site or other soil stabilization method shall be employed on an on-going basis after the initiation of any grading. Portions of the site that are actively being graded shall be watered to ensure that a crust is formed on the ground surface, and shall be watered at the end of each workday. 2. The Project proponent shall ensure that all disturbed areas are treated to prevent erosion. 3. The Project proponent shall ensure that all grading activities are suspended when winds exceed 25 miles per hour. b. Exhaust emissions from vehicles and equipment and fugitive dust generated by equipment traveling over exposed surfaces, will increase NOX and PM10 levels in the area. Although the Project will not exceed Mojave Desert Air Quality Management District thresholds during operations, the Project proponent will be required to implement the following requirements: 1. All equipment used for grading and construction must be tuned and maintained to the manufacturer's specification to maximize efficient burning of vehicle fuel. 2. The operator shall maintain and effectively utilize and schedule on-site equipment and on-site and off-site haul trucks in order to minimize exhaust emissions from truck idling.

41 **Diesel Regulations** - Status: Outstanding

The operator shall comply with all existing and future California Air Resources Board and Mojave Desert Air Quality Management District regulations related to diesel-fueled trucks, which among others may include: (1) meeting more stringent emission standards; (2) retrofitting existing engines with particulate traps; (3) use of low sulfur fuel; and (4) use of alternative fuels or equipment. Mojave Desert Air Quality Management District rules for diesel emissions from equipment and trucks are embedded in the compliance for all diesel fueled engines, trucks, and equipment with the statewide California Air Resources Board Diesel Reduction Plan. These measures will be implemented by the California Air Resources Board in phases with new rules imposed on existing and new diesel-fueled engines.

42 GHG - Construction Standards - Status: Outstanding

The developer shall submit for review and obtain approval from County Planning of a signed letter agreeing to include as a condition of all construction contracts/subcontracts requirements to reduce GHG emissions and submitting documentation of compliance. The developer/construction contractors shall do the following: a) Implement the approved Coating Restriction Plans. b) Select construction equipment based on low GHG emissions factors and high-energy efficiency. All diesel/gasoline-powered construction equipment shall be replaced, where possible, with equivalent electric or CNG equipment. c) Grading contractor shall provide and implement the following when possible: - training operators to use equipment more efficiently. - identifying the proper size equipment for a task can also provide fuel savings and associated reductions in GHG emissions. - replacing older, less fuel-efficient equipment with newer models. - use GPS for grading to maximize efficiency. d) Grading plans shall include the following statements: - "All construction equipment engines shall be properly tuned and maintained in accordance with the manufacturers specifications prior to arriving on site and throughout construction duration." - "All construction equipment (including electric generators) shall be shut off by work crews when not in use and shall not idle for more than 5 minutes." e) Schedule construction traffic ingress/egress to not interfere with peak-hour traffic and to minimize traffic obstructions. Queuing of trucks on and off site shall be firmly discouraged and not scheduled. A flagperson shall be retained to maintain efficient traffic flow and safety adjacent to existing roadways. f) Recycle and reuse construction and demolition waste (e.g. soil, vegetation, concrete, lumber, metal, and cardboard) per County Solid Waste procedures. g) The construction contractor shall support and encourage ridesharing and transit incentives for the construction crew and educate all construction workers about the required waste reduction and the availability of recycling services.

43 Mitigation Measures - Status: Outstanding

Please see Mitigation Monitoring and Reporting Program for mitigation measures to be completed prior to grading permit issuance.

44 Joshua Tree Relocation Plan - Status: Outstanding

The developer shall submit and have approved by the Planning Division a relocation plan for Joshua Trees within the developed site area. The relocation plan shall be accompanied with certification from a certified arborist, registered professional forester or a Desert Native Plant Expert that the proposed tree removal, replacement, or revegetation activities are appropriate, supportive of a healthy environment, and are in compliance with Chapter 88.01 of the San Bernardino County Development Code. The certification shall include the information in compliance with Department procedures. Transplantation onsite shall be the primary method of addressing a Joshua Tree removals from the subject property

Land Use Services - Building and Safety**45 Geotechnical Report - Status: Outstanding**

A geotechnical (soil) report shall be submitted to the Building and Safety Division for review and approval prior to issuance of grading permits or land disturbance.

Land Use Services - Land Development**46 Drainage Improvements - Status: Outstanding**

A Registered Civil Engineer (RCE) shall investigate and design adequate drainage improvements to intercept and conduct the off-site and on-site 100-year drainage flows around and through the site in a safe manner that will not adversely affect adjacent or downstream properties. Submit drainage study for review and obtain approval. A \$750 deposit for drainage study review will be collected upon submittal to the Land Development Division. Deposit amounts are subject to change in accordance with the latest approved fee schedule.

47 **Grading Plans** - Status: Outstanding

Grading and erosion control plans shall be prepared in accordance with the County's guidance documents (which can be found here: <https://lus.sbcounty.gov/land-development-home/grading-and-erosion-control/>) and submitted for review with approval obtained prior to construction. All drainage and WQMP improvements shall be shown on the grading plans according to the approved final drainage study and WQMP reports. Fees for grading plans will be collected upon submittal to the Land Development Division and are determined based on the amounts of cubic yards of cut and fill. Fee amounts are subject to change in accordance with the latest approved fee schedule.

48 **On-site Drainage Easement** - Status: Outstanding

On-site flows shall be directed within a drainage easement.

49 **On-site Flows** - Status: Outstanding

Erosion Control Installation. Erosion control devices must be installed and maintained at all perimeter openings and slopes throughout the construction of the project. No sediment is to leave the job site.

50 **Project Specific Conditions** - Status: Outstanding

Joshua Trees. Any land disturbance shall be kept at least 40 feet away from any Joshua tree in order for the design to be acceptable. If the proposed land disturbance is within 40 feet of a Joshua tree, then the applicant will need to submit a survey by a licensed arborist to verify that the proposed design will not detrimentally affect the tree. For all applications, plot plans must show the location of all Joshua trees on a parcel.
<http://www.sbcounty.gov/Uploads/LUS/BandS/Handouts/IB-0016.pdf>

51 **Project Specific Conditions** - Status: Outstanding

FEMA Flood Zone. The project is located within Flood Zone D according to FEMA Panel Number 06071C5900H dated 08/08/2008. Flood hazards are undetermined in this area, but they are still possible. However, the site is located within a flood hazard area for the 100-year floodplain shown on the Awareness Maps prepared by the California Department of Water Resources (DWR). Awareness floodplains identify the 100-year flood hazard areas using approximate assessment procedures. These floodplains will be shown simply as flood prone areas without specific depths and other flood hazard data. The requirements may change based on the recommendations of a drainage study accepted by the Land Development Division and the most current Flood Map prior to issuance of grading permit.

52 **Project Specific Conditions** - Status: Outstanding

State Construction Stormwater General Permit: Notice of Intent (NOI) and WDID # are required on all land disturbance of one (1) acre or more prior to issuance of a grading/construction permit. For questions regarding the State Construction Stormwater General Permit, please contact:
https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html

53 **Project Specific Conditions** - Status: Outstanding

Erosion Control Installation. Erosion control devices must be installed and maintained at all perimeter openings and slopes throughout the construction of the project. No sediment is to leave the job site.

Public Health– Environmental Health Services

54 **Vector Control Requirement** - Status: Outstanding

The project area has a high probability of containing vectors. A vector survey shall be conducted to determine the need for any required control programs. A vector clearance application shall be submitted to the appropriate Mosquito & Vector Control Program. For information, contact EHS Mosquito & Vector Control Program at (800) 442-2283 or West Valley Mosquito & Vector at (909) 635-0307.

Public Works - Surveyor

55 **Corner Records Required Before Grading** - Status: Outstanding

Pursuant to Sections 8762(b) and/or 8773 of the Business and Professions Code, a Record of Survey or Corner Record shall be filed under any of the following circumstances: a. Monuments set to mark property lines or corners; b. Performance of a field survey to establish property boundary lines for the purposes of construction staking, establishing setback lines, writing legal descriptions, or for boundary establishment/mapping of the subject parcel; c. Any other applicable circumstances pursuant to the Business and Professions Code that would necessitate filing of a Record of Survey.

56 **Monument Disturbed by Grading** - Status: Outstanding

If any activity on this project will disturb ANY land survey monumentation, including but not limited to vertical control points (benchmarks), said monumentation shall be located and referenced by or under the direction of a licensed land surveyor or registered civil engineer authorized to practice land surveying PRIOR to commencement of any activity with the potential to disturb said monumentation, and a corner record or record of survey of the references shall be filed with the County Surveyor pursuant to Section 8771(b) Business and Professions Code.

PRIOR TO BUILDING PERMIT ISSUANCE

Land Use Services - Planning

57 **Architecture** - Status: Outstanding

Architectural elevations. Final details with colors and material samples shall be submitted to the Planning Division for approval prior to building plan check submittal.

58 **Landscape and Irrigation Plan** - Status: Outstanding

Landscape and Irrigation Plans shall be prepared in conformance with Chapter 83.10, Landscaping Standards, of the County Development Code. The developer shall submit four copies of a landscape and irrigation plan to County Planning.

59 **Lighting Plans** - Status: Outstanding

The developer shall submit for review and approval to County Planning a photometric study demonstrating that the project light does not spill onto the adjacent properties, or public streets. Lighting fixtures shall be oriented and focused to the onsite location intended for illumination (e.g. walkways). Lighting shall be shielded away from adjacent sensitive uses, including the adjacent residential development, to minimize light spillover. The glare from any luminous source, including on-site lighting, shall not exceed 0.5 foot-candle at the property line. This shall be done to the satisfaction of County Planning, in coordination with County Building and Safety.

County Fire - Community Safety

60 **F02 Fire Fee** - Status: Outstanding

The required fire fees shall be paid to the San Bernardino County Fire Department/Community Safety Division.

61 **F09 Building Plans** - Status: Outstanding

Building Plans shall be submitted to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal. This condition shall be completed in each phase for each building prior to construction.

62 **F10 Combustible Protection** - Status: Outstanding

Prior to combustibles being placed on the project site an approved all-weather fire apparatus access surface and operable fire hydrants with acceptable fire flow shall be installed. The topcoat of asphalt does not have to be installed until final inspection and occupancy. This condition shall be completed in phase one of project.

63 F19 Surface - Status: Outstanding

Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. Road surface shall meet the approval of the Fire Chief prior to installation. All roads shall be designed to 85% compaction and/or paving and hold the weight of Fire Apparatus at a minimum of 80K pounds. This condition shall be completed in phase one of project.

64 F21 Turnaround - Status: Outstanding

An approved turnaround shall be provided at the end of each roadway one hundred and fifty (150) feet or more in length. Cul-de-sac length shall not exceed six hundred (600) feet; all roadways shall not exceed a 12% grade and have a minimum of forty-five (45) foot radius for all turns. In the Fire Safety Overlay District cul-de-sac length shall not exceed three hundred fifty (350) feet. This condition shall be completed in each phase for each building prior to construction.

65 F22 Primary Access Paved - Status: Outstanding

Prior to building permits being issued to any new structure, the primary access road shall be paved or an all-weather surface and shall be installed as specified in the General Requirement conditions including width, vertical clearance and turnouts. The entire loop around buildings and proposed buildings shall be completed in phase one of project.

66 F26 Fire Flow Test - Status: Outstanding

Please provide a fire flow test report from your water purveyor that has been completed in the last six months demonstrating that the fire flow demand is satisfied. This condition shall be completed in each phase for each building prior to construction.

67 F27 Water System - Status: Outstanding

Prior to any land disturbance, the water systems shall be designed to meet the required fire flow for this development and shall be approved by the Fire Department. The required fire flow shall be determined by using California Fire Code. The Fire Flow for this project shall be: 1,500 GPM for a two hour duration at 20 psi residual operating pressure. Fire Flow is based on a 11,114 sq.ft. structure. This condition shall be completed in phase one of project.

68 F28 Water System Commercial - Status: Outstanding

A water system approved and inspected by the Fire Department is required. The system shall be operational, prior to any combustibles being stored on the site. Fire hydrants shall be spaced no more than three hundred (300) feet apart (as measured along vehicular travel-ways) and no more than three hundred (300) feet from any portion of a structure. This condition shall be completed in phase one of project.

69 F32 Rural Water System Commercial - Status: Outstanding

In areas without water serving utilities, the fire protection water system shall be designed to NFPA 1142 and shall be operational prior to framing. All NFPA 1142 systems shall provide an approved permanent water supply.

Land Use Services - Building and Safety

70 Construction Plans - Status: Outstanding

Any building, sign, or structure to be added to, altered (including change of occupancy/use), constructed, or located on site, will require professionally prepared plans based on the most current adopted County and California Building Codes, submitted for review and approval by the Building and Safety Division.

71 Permits - Status: Outstanding

Obtain permits for all structures located on site and all work done without a permit.

72 **Temporary Use Permit** - Status: Outstanding

A Temporary Structures (TS) permit for non-residential structures for use as office, retail, meeting, assembly, wholesale, manufacturing, and/ or storage space will be required. A Temporary Use Permit (PTUP) for the proposed structure by the Planning Division must be approved prior to the TS Permit approval. A TS permit is renewed annually and is only valid for a maximum of five (5) years.

Land Use Services - Land Development

73 **Encroachment Permits** - Status: Outstanding

Prior to installation of driveways, sidewalks, etc., an encroachment permit is required from the County Department of Public Works, Permits/Operations Support Division, Transportation Permits Section (909) 387-1863 as well as other agencies prior to work within their jurisdiction.

74 **Project Specific Conditions** - Status: Outstanding

Soils Testing. Any grading within the road right-of-way prior to the signing of the improvement plans shall be accomplished under the direction of a soils testing engineer. Compaction tests of embankment construction, trench back fill, and all sub-grades shall be performed at no cost to the County and a written report shall be submitted to the Permits/Operations Support Division, Transportation Permits Section of the County Department of Public Works prior to any placement of base materials and/or paving.

75 **Road Improvements** - Status: Outstanding

The developer shall submit for review and obtain approval from the Land Use Services Department the following plans for the listed required improvements, designed by a Registered Civil Engineer (RCE), licensed in the State of California: Haynes Road (Local – 60 feet): •Driveway Approach. Design driveway approach per County Standard 129B and located per County Standard 130. •Grading plan Interface. Any driveway approaches shall be shown on the approved grading plan.

76 **Road Standards and Design** - Status: Outstanding

All required street improvements shall comply with latest San Bernardino County Road Planning and Design Standards and the San Bernardino County Standard Plans. Road sections shall be designed to Desert Road Standards of San Bernardino County and to the policies and requirements of the County Department of Public Works and in accordance with the General Plan, Circulation Element.

77 **Street Gradients** - Status: Outstanding

Road profile grades shall not be less than 0.5% unless the engineer at the time of submittal of the improvement plans provides justification to the satisfaction of the County Department of Public Works confirming the adequacy of the grade.

78 **Transitional Improvements** - Status: Outstanding

Right-of-way and improvements (including off-site) to transition traffic and drainage flows from proposed to existing sections shall be required as necessary.

79 **Utilities.** - Status: Outstanding

Final plans and profiles shall indicate the location of any existing utility facility or utility pole which would affect construction, and any such utility shall be relocated as necessary without cost to the County.

Public Health– Environmental Health Services

80 **California Regional Water Quality Control Board Clearance** - Status: Outstanding

Written clearance shall be obtained from the designated California Regional Water Quality Control Board (listed below) and a copy forwarded to the Division of Environmental Health Services for projects with design flows greater than 10,000 gallons per day. Colorado River Basin Region, 73-720 Fred Waring Dr., Suite 100, Palm Desert, CA 92260, 760-346-7491.

81 **Demolition Inspection Required** - Status: Outstanding

All demolition of structures shall have a vector inspection prior to the issuance of any permits pertaining to demolition or destruction of any premises. For information, contact EHS Mosquito & Vector Control Program at (800) 442-2283 or West Valley Mosquito & Vector at (909) 635-0307.

82 **Existing OWTS** - Status: Outstanding

Existing onsite wastewater treatment system can be used if applicant provides an EHS approved certification that indicates the system functions properly, meets code, has the capacity required for the proposed project, and meets LAMP requirements.

83 **Existing Wells** - Status: Outstanding

If wells are found on-site, evidence shall be provided that all wells are: (1) properly destroyed, by an approved C57 contractor and under permit from the County OR (2) constructed to EHS standards, properly sealed and certified as inactive OR (3) constructed to EHS standards and meet the quality standards for the proposed use of the water (industrial and/or domestic). Evidence, such as a well certification, shall be submitted to EHS for approval.

84 **New OWTS** - Status: Outstanding

If sewer connection and/or service are unavailable, onsite wastewater treatment system(s) may then be allowed under the following conditions: a. A soil percolation report shall be submitted to EHS for review and approval. For information, please contact the Wastewater Section at (800) 442-2283. b. An Alternative Treatment System, if applicable, shall be required.

85 **Preliminary Acoustical Information** - Status: Outstanding

Submit preliminary acoustical information demonstrating that the proposed project maintains noise levels at or below San Bernardino County Noise Standard(s), San Bernardino Development Code Section 83.01.080. The purpose is to evaluate potential future on-site and/or adjacent off-site noise sources. If the preliminary information cannot demonstrate compliance to noise standards, a project specific acoustical analysis shall be required. Submit information/analysis to the EHS for review and approval. For information and acoustical checklist, contact EHS at (800) 442-2283.

86 **Sewage Disposal** - Status: Outstanding

Method of sewage disposal shall be sewer service provided by an EHS approved onsite wastewater treatment system (OWTS) that conforms to the Local Agency Management Program (LAMP).

87 **Sewer Service Verification Letter** - Status: Outstanding

Applicant shall procure a verification letter from the sewer service provider identified. This letter shall state whether or not sewer connection and service shall be made available to the project by the sewer provider. The letter shall reference the Assessor's Parcel Number(s).

88 **Water Purveyor** - Status: Outstanding Water purveyor shall be EHS approved.

89 **Water Service Verification Letter** - Status: Outstanding

Applicant shall procure a verification letter from the water service provider. This letter shall state whether or not water connection and service shall be made available to the project by the water provider. This letter shall reference the File Index Number and Assessor's Parcel Number(s). For projects with current active water connections, a copy of water bill with project address may suffice.

90 **Water System Permit** - Status: Outstanding

A water system permit will be required and concurrently approved by the State Water Resources Control Board – Division of Drinking Water. Applicant shall submit preliminary technical report in accordance with California Health and Safety Code

§116527(c) to EHS and the State Water Resources Control Board. Application must be approved prior to initiating construction of any water-related development. Source of water shall meet water quality and quantity standards. Test results, which show source meets water quality and quantity standards shall be submitted to the Division of Environmental Health Services (EHS). For information, contact the Water Section at (800) 442-2283 and SWRCB-DDW at (916) 449-5577.

Public Works - Solid Waste Management

91 **Construction Waste Management Plan (CWMP) Part 1** - Status: Outstanding

The developer shall prepare, submit, and obtain approval from SWMD of a CDWMP Part 1 for each phase of the project. The CWMP shall list the types and weights of solid waste materials expected to be generated from construction. The CWMP shall include options to divert waste materials from landfill disposal, materials for reuse or recycling by a minimum of 65% of total weight or volume. More information can be found on the San Bernardino County Solid Waste Management Division (SWMD) website at <https://dpw.sbcounty.gov/solid-waste-management/construction-waste-management/>. An approved CDWMP Part 1 is required before a permit can be issued. There is a one-time fee of \$150.00 for residential projects/\$530.00 for commercial/non-residential projects

PRIOR TO OCCUPANCY

Land Use Services - Planning

92 **Fees Paid** - Status: Outstanding

Prior to final inspection by Building and Safety Division and/or issuance of a Certificate of Conditional Use by the Planning Division, the applicant shall pay in full all fees required under actual cost job number PROJ-2021-00153.

93 **Installation of Improvements** - Status: Outstanding

All required on-site improvements shall be installed per approved plans.

94 **Landscaping/Irrigation** - Status: Outstanding

All landscaping, dust control measures, all fences, etc. as delineated on the approved Landscape Plan shall be installed. The developer shall submit the Landscape Certificate of Completion verification as required in SBCC Section 83.10.100. Supplemental verification should include photographs of the site and installed landscaping.

95 **Mitigation Measures** - Status: Outstanding

Please see Mitigation Monitoring and Reporting Program for mitigation measures to be completed prior to occupancy permit issuance

96 **Screen Rooftop** - Status: Outstanding

All roof top mechanical equipment is to be screened from ground vistas.

97 **Shield Lights** - Status: Outstanding

Any lights used to illuminate the site shall include appropriate fixture lamp types as listed in SBCC Table 83-7 and be hooded and designed so as to reflect away from adjoining properties and public thoroughfares and in compliance with SBCC Chapter 83.07, "Glare and Outdoor Lighting" (i.e. "Dark Sky Ordinance").

98 **Condition Compliance** - Status: Outstanding

Prior to occupancy/use, all conditions shall be completed to the satisfaction of County Planning with appropriate authorizing approvals from each reviewing agency.

99 **GHG - Installation/Implementation Standards** - Status: Outstanding

The developer shall submit for review and obtain approval from County Planning of evidence that all applicable GHG performance standards have been installed, implemented properly and that specified performance objectives are being met to the satisfaction of County Planning and County Building and Safety. These installations/procedures include the following:

a) Design features and/or equipment that cumulatively increases the overall compliance of the project to exceed Title 24 minimum standards by five percent. b) All interior building lighting shall support the use of fluorescent light bulbs or equivalent energy-efficient lighting. c) Installation of both the identified mandatory and optional design features or equipment that have been constructed and incorporated into the facility/structure.

County Fire - Community Safety100 **F06 Inspection by Fire Department** - Status: Outstanding

Permission to occupy or use the building (Certification of Occupancy or Shell Release) will not be granted until the Fire Department inspects, approves and signs off on the Building and Safety job card for "fire final".

County Fire - Hazardous Materials101 **Permit Required** - Status: Outstanding

Prior to occupancy, a business or facility that handles hazardous materials in quantities at or exceeding 55 gallons, 500 pounds, or 200 cubic feet (compressed gas) at any one time or generates any amount of hazardous waste shall obtain hazardous material permits from this department. Prior to occupancy, the business operator shall apply for permits (Hazardous Material Handler Permit, Hazardous Waste Generator Permit, Aboveground Petroleum Storage Tank Permit, Underground Storage Tank Permit, or other applicable permits) by submitting a complete hazardous materials business plan using the California Environmental Reporting System (CERS) at <http://cers.calepa.ca.gov/> or apply for exemption from permitting requirements. Contact the Office of the Fire Marshal, Hazardous Materials Section at (909) 386-8401 or visit <https://sbcfire.org/hazmatcupa/> for more information.

Land Use Services - Building and Safety102 **Condition Compliance Release Form Sign-off** - Status: Outstanding

Prior to occupancy all Department/Division requirements and sign-offs shall be completed.

Land Use Services - Land Development103 **Drainage Improvements** - Status: Outstanding

All required drainage improvements shall be completed by the applicant. The private Registered Civil Engineer (RCE) shall inspect improvements outside the County right-of-way and certify that these improvements have been completed according to the approved plans. Certification letter shall be submitted to Land Development.

104 **LDD Requirements** - Status: Outstanding

All LDD requirements shall be completed by the applicant prior to occupancy.

Public Health– Environmental Health Services

105 **New Public Water System Permit** - Status: Outstanding

A Public Water System annual permit which meets Title 22, CCR requirements pertaining to the type of water system, shall be required. For information, contact EHS at: (800) 442-2283.

Public Works - Solid Waste Management

106 **Construction Waste Management Plan (CDWMP) Part 2** - Status: Outstanding

The developer shall complete SWMD's CDWMP Part 2 for construction and demolition. The CDWMP Part 2 shall provide evidence to the satisfaction of SWMD that demonstrates that the project has diverted from landfill disposal, material for reuse or recycling by a minimum of 65% of total weight or volume of all construction waste. The developer MUST provide ALL receipts and/or backup documentation for actual disposal/diversion of project waste. More information can be found on the San Bernardino County Solid Waste Management Division (SWMD) website at <https://dpw.sbcounty.gov/solid-waste-management/construction-waste-management/>.

Public Works - Traffic

107 **Improvements** - Status: Outstanding

The applicant shall construct, at 100% cost to the applicant all roadway improvements as shown on their approved street improvement plans.

108 **Local Area Transportation Facility Fee Area** - Status: Outstanding

This project falls within the Lucerne Valley Local Area Transportation Facilities Fee Plan. This fee shall be paid by a cashier's check to the Department of Public Works Business Office. These fees are subject to change. Based on the ITE Trip Generation Manual (11th Edition) and a 17,758 sq. ft. building as shown on the site plan, this project generates approximately 74 vehicle trips on a weekday. This fee is \$137.31 per trip multiplied by the number of vehicle trips (74) and multiplied by an induced trip adjustment factor of 20% as shown in the fee plan. Therefore, the total estimated Local Transportation Fees for this project is \$2,032.19 The current Lucerne Valley Local Area Transportation Facilities plan can be found at the following website: <https://dpw.sbcounty.gov/transportation/transportation-planning/>

PRIOR TO FINAL INSPECTION

County Fire - Community Safety

109 **F16 Access** - Status: Outstanding

The development shall have a minimum of two points of vehicular access. These are for fire/emergency equipment access and for evacuation routes. a. Single Story Road Access Width. All buildings shall have access provided by approved roads, alleys and private drives with a minimum twenty-six (26) foot unobstructed width and vertically to fourteen (14) feet six (6) inches in height. b. Multi-Story Road Access Width. Fire apparatus access roadways serving buildings that are three (3) or more stories or thirty (30) feet or more in height shall be a minimum of thirty (30) feet in unobstructed width and vertically to fourteen (14) feet six (6) inches in height. This condition shall be completed in phase one of project.

110 **F11 Combustible Vegetation** - Status: Outstanding

Combustible vegetation shall be removed as follows: a. Where the average slope of the site is less than 15% - Combustible vegetation shall be removed a minimum distance of thirty (30) feet from all structures or to the property line, whichever is less. b. Where the average slope of the site is 15% or greater - Combustible vegetation shall be removed a minimum one hundred (100) feet from all structures or to the property line, whichever is less. County Ordinance #3586 This condition shall be completed in phase one of project.

111 **F24 Fire Lanes** - Status: Outstanding

The applicant shall submit a fire lane plan with the building construction plans to the Fire Department for review and approval. Fire lane curbs shall be painted red. "No Parking, Fire Lane" signs shall be installed on public/private roads in accordance with the approved plan. This condition shall be completed in each phase for each building prior to construction.

112 **F25 Street Sign** - Status: Outstanding

This project is required to have an approved street sign (temporary or permanent). The street sign shall be installed on the nearest street corner to the project. Installation of the temporary sign shall be prior any combustible material being placed on the construction site. Prior to final inspection and occupancy of the first structure, the permanent street sign shall be installed. This condition shall be completed in phase one of project.

113 **F35 Hydrant Marking** - Status: Outstanding

Blue reflective pavement markers indicating fire hydrant locations shall be installed as specified by the Fire Department. In areas where snow removal occurs, or non-paved roads exist, the blue reflective hydrant marker shall be posted on an approved post along the side of the road, no more than three (3) feet from the hydrant and at least six (6) feet high above the adjacent road. This condition shall be completed in phase one of project.

114 **F37 Fire Sprinkler-NFPA #13** - Status: Outstanding

An automatic fire sprinkler system complying with NFPA Pamphlet #13 and Fire Department standards is required. The applicant shall hire a licensed fire sprinkler contractor. The fire sprinkler contractor shall submit plans with hydraulic calculations, manufacturers specification sheets and a letter from a licensed structural (or truss) engineer with a stamp verifying the roof is capable of accepting the point loads imposed on the building by the fire sprinkler system design to the Fire Department for approval. The contractor shall submit plans showing type of storage and use with the applicable protection system. The required fees shall be paid at the time of plan submittal.

115 **F40 Roof Certification** - Status: Outstanding

A letter from a licensed structural (or truss) engineer shall be submitted with an original wet stamp at time of fire sprinkler plan review, verifying the roof is capable of accepting the point loads imposed on the building by the fire sprinkler system design.

116 **F41 Fire Alarm** - Status: Outstanding

A manual, automatic or manual and automatic fire alarm system complying with the California Fire Code, NFPA and all applicable codes is required. The applicant shall hire a licensed fire alarm contractor. The fire alarm contractor shall submit detailed plans to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal.

117 **F45 Fire Extinguishers** - Status: Outstanding

Hand portable fire extinguishers are required. The location, type, and cabinet design shall be approved by the Fire Department. This condition shall be completed in each phase for each building prior to construction.

118 **F46 Hood and Duct Suppression** - Status: Outstanding

An automatic hood and duct fire extinguishing system is required. The applicant shall hire a licensed fire protection contractor to submit detailed plans with manufactures' specification sheets to the Fire Department for review and approval. The required fees shall be paid at the time of plan submittal.

119 **F47 Above Ground Storage Tank** - Status: Outstanding

Above Ground Storage Tank plans shall be submitted to the San Bernardino County Fire Department for review and approval prior to any installation on-site. The required Fees shall be paid at time of plan submittal.

120 **F48 Material Identification Placards** - Status: Outstanding

The applicant shall install Fire Department approved material identification placards on the outside of all buildings and/or storage tanks that store or plan to store hazardous or flammable materials in all locations deemed appropriate by the Fire Department. Additional placards shall be required inside the buildings when chemicals are segregated into separate areas. Any business with an N.F.P.A. 704 rating of 2-3-3 or above shall be required to install an approved key box vault on the premises, which shall contain business access keys and a business plan.

121 **F51 Commercial Addressing** - Status: Outstanding

Commercial and industrial developments of 100,000 sq. ft or less shall have the street address installed on the building with numbers that are a minimum eight (8) inches in height and with a one (1) inch stroke. The street address shall be visible from the street. During the hours of darkness, the numbers shall be electrically illuminated (internal or external). Where the building is two hundred (200) feet or more from the roadway, additional non-illuminated address identification shall be displayed on a monument, sign or other approved means with numbers that are a minimum of six (6) inches in height and three-quarter (¾) inch stroke. Every individual building shall also have some way of identifying building to responding units. This condition shall be completed in phase one of project.

122 **F55 Key Box** - Status: Outstanding

An approved Fire Department key box is required. In commercial, industrial and multi-family complexes, all swing gates shall have an approved fire department Lock (Knox ®). This condition shall be completed in each phase for each building prior to construction.

123 **F56 Override Switch** - Status: Outstanding

Where an automatic electric security gate is used, an approved Fire Department override switch (Knox ®) is required. This condition shall be completed in phase one of project.

If you would like additional information regarding any of the conditions in this document, please contact the department responsible for applying the condition and be prepared to provide the Record number above for reference. Department contact information has been provided below.

Department/Agency	Office/Division	Phone Number
Land Use Services Dept.	San Bernardino Govt. Center	(909) 387-8311
(All Divisions)	High Desert Govt. Center	(760) 995-8140
Web Site	https://lus.sbcounty.gov/	
County Fire	San Bernardino Govt. Center	(909) 387-8400
(Community Safety)	High Desert Govt. Center	(760) 995-8190
Web Site	https://www.sbcounty.gov/	
County Fire	Hazardous Materials	(909) 386-8401
	Flood Control	(909) 387-7995
Dept. of Public Works	Solid Waste Management	(909) 386-8701
	Surveyor	(909) 387-8149
	Traffic	(909) 387-8186
Web Site	https://dpw.sbcounty.gov/	
Dept. of Public Health	Environmental Health Services	(800) 442-2283
Web Site	https://ehs.sbcounty.gov	
Local Agency Formation Commission (LAFCO)		(909) 388-0480
Web Site	http://www.sbclafco.org/	
	Water and Sanitation	(760) 955-9885
	Administration,	
	Park and Recreation,	
Special Districts	Roads, Streetlights,	(909) 386-8800
	Television Districts, and Other	
External Agencies (Caltrans, U.S. Army, etc.)		See condition text for contact information...

EXHIBIT E

PROJECT PLANS

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Minor Use Permit No. 2021-00153



Sheet Index:

Minor Use Permit Exhibit Prepared by Albert A. Webb Associates (Sheets 1-5)

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Site Plan (Sheet 2)

Conceptual Grading Plan (Sheet 3)

Conceptual Utility Plan (Sheet 4)

Fire Access and Truck Turning (Sheet 5)

Architectural Floor Plans and Elevations Prepared by Daniel Seagondollar Architects

Administration Building

Floor Plans (A3)

Floor Plans-1st Floor Enlargement (A4)

Floor Plans-2nd Floor Enlargement (A5)

North & South Elevations (A10)

East & West Elevations (A11)

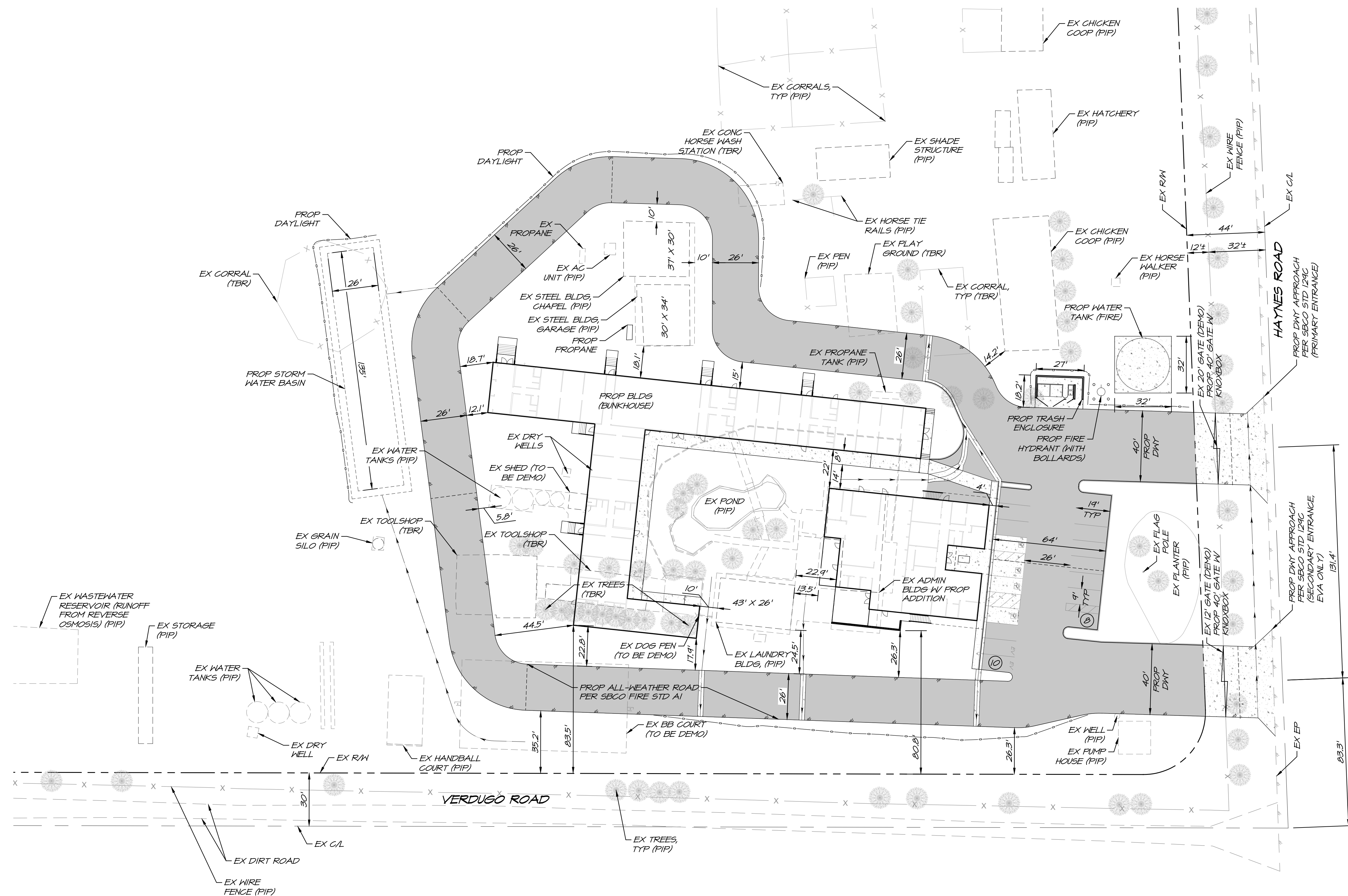
Bunk House Building

Floor Plans (A5)

Enlargements (A6-A7)

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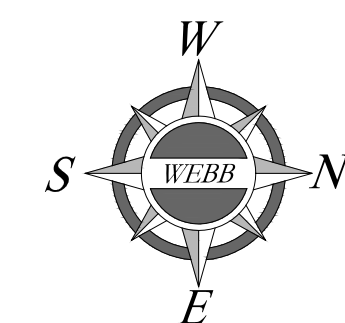
LEGEND




PROP CONCRETE
PROP ALL-WEATHER ACCESS ROAD
PROP STORM WATER BASIN
EX BUILDINGS/STRUCTURES
PROPERTY LINE
EX R/W
EX CL
EX ETP
PROP EP
PROP DAYLIGHT
SCREEN WALL
EX FENCE
GRADE BREAK
FLOWLINE
PROP STEM WALL
EX CONTOUR
PROP CONTOUR
PROP SEPTIC SYSTEM
PROP FIRE HYDRANT
PARKING STALL COUNT

ABBREVIATIONS

ADMIN	ADMINISTRATION
BK	BASKETBALL
BLDS	BUILDING
C/L	CENTER LINE
CONC	CONCRETE
DEMO	DEMOLISHED
DNY	DRIVENAY
EP	EDGE OF PAVEMENT
EX	EXISTING
FL	FLOW LINE
FL	FINISHED FLOOR
FG	FINISHED GROUND
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
LP	LOW POINT
MAX	MAXIMUM
FE	FELEVATION
PL	PROPERTY LINE
PP	POWER POLE
PROP	PROPOSED
PIP	PROTECT IN PLACE
R/W	RIGHT OF WAY
SBCO	SAN BERNARDINO COUNTY
STD	STANDARD
TBL	TERMINOLOCATED
TBU	TO BE UNDERGROUNDED
TOT	TOTAL
TYP	TYPICAL



1" = 30'



30 0 30 60 90

PROJ-2021-00153

THE RIVER'S EDGE RANCH
SITE PLAN

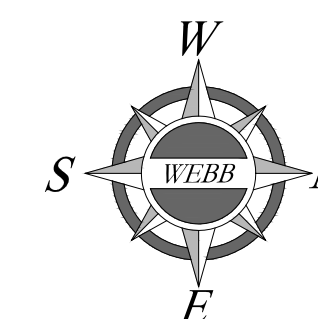
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DATE:	8/19/2024
DESIGNED:	ABE
CHECKED:	SKK
PLN CK REF:	
F.B.	

ALBERT A. WEBB ASSOCIATES
ENGINEERING CONSULTANTS
3788 McCRAY STREET
RIVERSIDE CA. 92506
PH. (951) 686-1070
FAX (951) 788-1256

W.O.	23-3227
SHEET	2
OF 5	SHEETS
DWG. NO.	

- ## ABBREVIATIONS

- | | |
|-------|-----------------------|
| ADMIN | ADMINISTRATION |
| BB | BASKETBALL |
| BULDS | BUILDING |
| C/L | CENTER LINE |
| CONC | CONCRETE |
| DEMO | DEMOLISHED |
| DWY | DRIVEWAY |
| EP | EDGE OF PAVEMENT |
| EX | EXISTING |
| FL | FLOWLINE |
| FF | FINISHED FLOOR |
| FG | FINISHED GROUND |
| FS | FINISHED SURFACE |
| GB | GRADE BREAK |
| HP | HIGH POINT |
| LP | LOW POINT |
| MAX | MAXIMUM |
| FE | PAID ELEVATION |
| FL | PROPERTY LINE |
| PP | POWER POLE |
| PROF | PROPOSED |
| PIP | PROTECT IN PLACE |
| R/W | RIGHT OF WAY |
| SECO | SAN BERNARDINO COUNTY |
| STD | STANDARD |
| TBR | TO BE RELOCATED |
| TBU | TO BE UNDERGROUND |
| TOT | TOTAL |
| TYP | TYPICAL |



1" = 30'

30 0 30 60

PROJ-2021-00153

THE RIVER'S EDGE RANCH
CONCEPTUAL GRADING

SCALE:	1" = 30'
DATE:	8/19/2021
DESIGNED:	AB
CHECKED:	SK
PLN CK REF:	
FR	

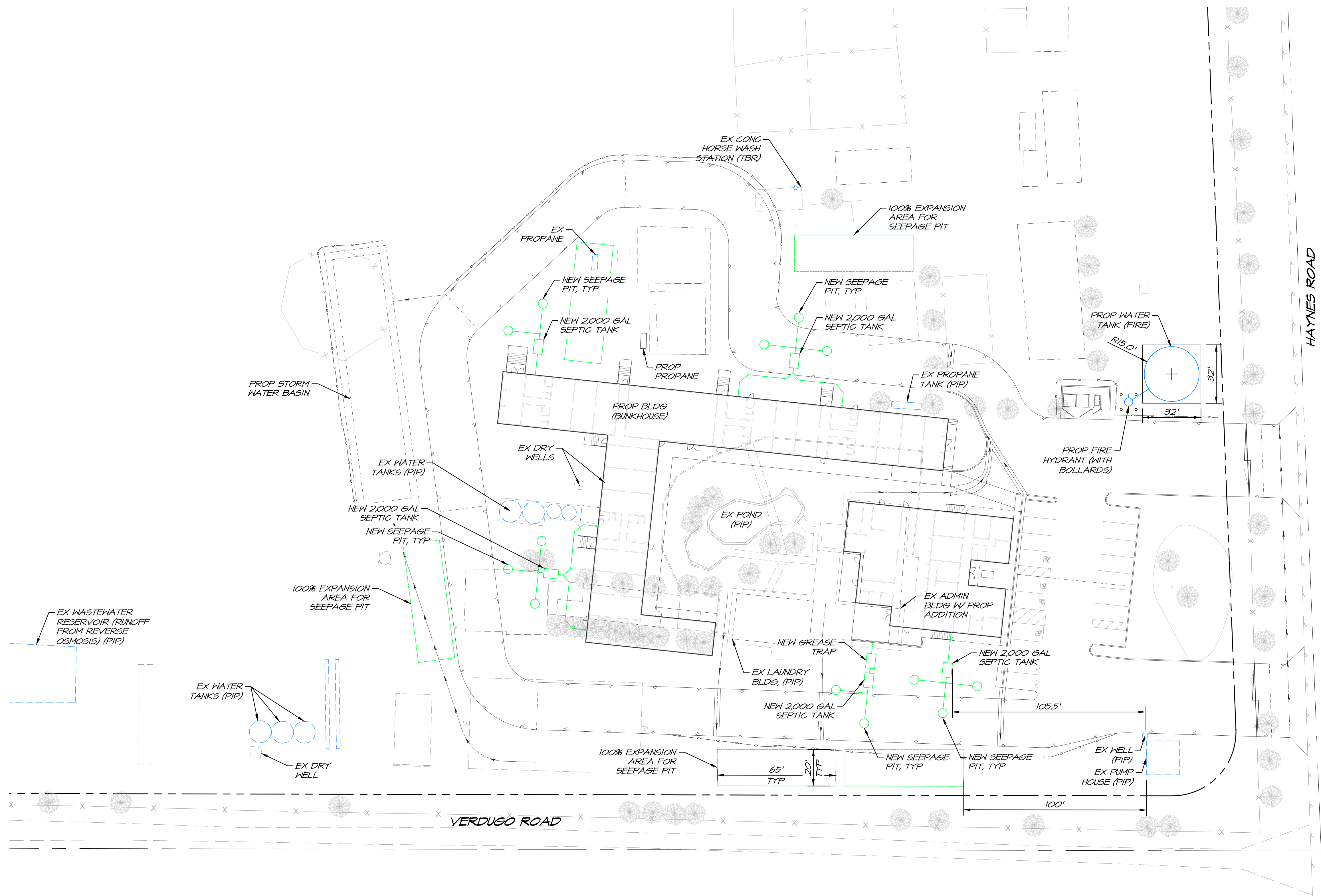
ALBERT A.
WEBB
ASSOCIATES

ENGINEERING CONSULTANTS
3788 McCray Street
Riverside, CA 92506
PH. (951) 686-1070
FAX (951) 788-1254

W.O.	23-3227
SHEET	3
OF 5	SHEET
DWG. NO.	

PRELIMINARY

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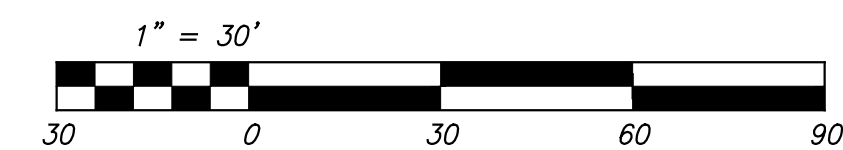
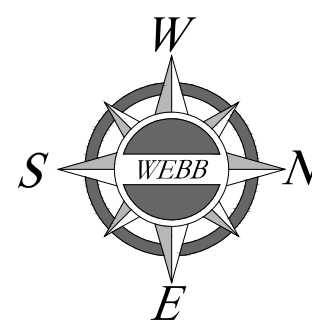


LEGEND

	PROP CONCRETE
	PROP ALL-WEATHER ACCESS ROAD
	PROP STORM WATER BASIN
	EX BUILDINGS/STRUCTURES
	PROPERTY LINE
	EX R/W
	EX CL
	EX EP
	PROP EP
	PROP DAYLIGHT
	SCREEN WALL
	EX FENCE
	GRADE BREAK
	FLOWLINE
	PROP STEMWALL
	EX CONTOUR
	PROP CONTOUR
	PROP SEPTIC SYSTEM
	PROP FIRE HYDRANT
	PARKING STALL COUNT
	EX TREE (PIP, UNLESS OTHERWISE NOTED)

ABBREVIATIONS

ADMIN	ADMINISTRATION
BB	BASKETBALL
BLDG	BUILDING
CL	CENTER LINE
CONC	CONCRETE
DEMO	DEMOLISHED
DWY	DRIVEWAY
EP	EDGE OF PAVEMENT
EX	EXISTING
FL	FLOWLINE
FF	FINISHED FLOOR
FG	FINISHED GROUND
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
LP	LOW POINT
MAX	MAXIMUM
PE	PAD ELEVATION
PL	PROPERTY LINE
PP	POWER POLE
PROP	PROPOSED
PIP	PROTECT IN PLACE
R/W	RIGHT OF WAY
SBCO	SAN BERNARDINO COUNTY
STD	STANDARD
TBR	TO BE RELOCATED
TBU	TO BE UNDERGROUNDED
TOT	TOTAL
TYP	TYPICAL



PROJ-2021-00153

THE RIVER'S EDGE RANCH
CONCEPTUAL UTILITIES

SCALE: 1" = 30'
DATE: 8/19/2024
DESIGNED: ABE
CHECKED: SKK
PLN CK REF:
F.B.

ALBERT A. WEBB ASSOCIATES
ENGINEERING CONSULTANTS
3788 MCGRAY STREET
RIVERSIDE, CA 92506
PH. (951) 686-1070
FAX (951) 788-1256

W.O. 23-3227
SHEET 4
OF 5 SHEETS
DWG. NO.

PRELIMINARY

LEGEND

	PROP CONCRETE
	PROP ALL-WEATHER ACCESS ROAD
	PROP STORM WATER BASIN
	EX BUILDINGS/STRUCTURES
	PROPERTY LINE
	EX R/W
	EX CL
	EX EP
	PROP EP
	SCREEN WALL
	EX FENCE
	GRADE BREAK
	FLOWLINE
	PROP STEMWALL
	EX CONTOUR
	PROP CONTOUR
	PROP SEPTIC SYSTEM
	PROP FIRE HYDRANT
	EX TREE (PIP, UNLESS OTHERWISE NOTED)
	PROP FIRE HOSE PULL
	TRUCK TURNING ENVELOPE

ABBREVIATIONS

ADMIN	ADMINISTRATION
BB	BASKETBALL
BLDG	BUILDING
CL	CENTER LINE
CONC	CONCRETE
DEMO	DEMOLISHED
DWY	DRIVEWAY
EP	EDGE OF PAVEMENT
EX	EXISTING
FL	FLOWLINE
FF	FINISHED FLOOR
FG	FINISHED GROUND
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
LP	LOW POINT
MAX	MAXIMUM
PE	PAD ELEVATION
PL	PROPERTY LINE
PP	POWER POLE
PROP	PROPOSED
PIP	PROTECT IN PLACE
R/W	RIGHT OF WAY
SBCO	SAN BERNARDINO COUNTY
STD	STANDARD
TBR	TO BE RELOCATED
TBU	TO BE UNDERGROUNDED
TOT	TOTAL
TYP	TYPICAL

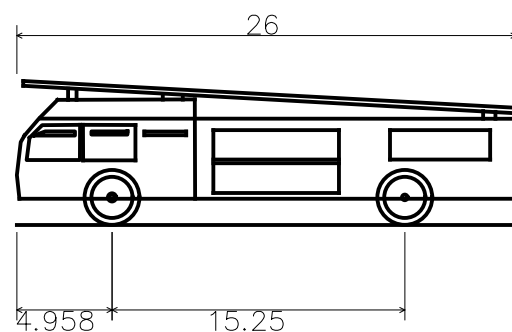
BUILDING INFORMATION

EX ADMIN BLDG (BLDG A)	1,381 SF
EX LAUNDRY BLDG (BLDG B)	994 SF
PROP ADMIN BLDG ADDITION TOTAL (BLDG A)	6,642 SF
FIRST FLOOR	3,340 SF
SECOND FLOOR	1,915 SF
PROP BLDG (BUNK HOUSE) (BLDG C)	1,116 SF
BUNK HOUSE	10,351 SF
STORAGE	151 SF

FIRE NOTES

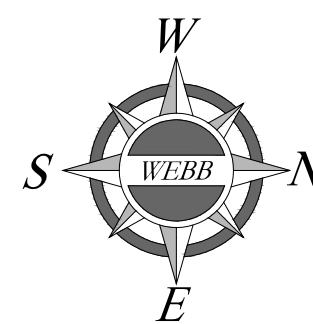
- THERE ARE NO EXISTING WATER LINES OR FIRE HYDRANTS IN AT THIS SITE.
- PER ANALYSIS BY FIREWISE 2000, STORAGE OF 10,000 GALLONS IS REQUIRED TO MEET FIRE REQUIREMENTS. THIS TANK IS PROVIDED NORTHWEST OF THE PROPOSED BUILDINGS, AS INDICATED.
- PER ANALYSIS BY GEOTEK, INC. (DATED 1/24/2024), 12" ASPHALT BASE (A.B.) SURFACE IS PROPOSED FOR ALL-WEATHER FIRE ACCESS ROAD.

TRUCK TEMPLATE



NOTE: WHEELBASE AND OVERALL LENGTH PER SBCO FIRE PREVENTION STANDARD A1

FIRE ENGINE
Overall Length 26.000ft
Overall Width 8.167ft
Overall Body Height 7.500ft
Min Body Ground Clearance 1.364ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Curb to Curb Turning Radius 19.000ft



PROJ-2021-00153

THE RIVER'S EDGE RANCH
FIRE ACCESS AND TRUCK TURNING

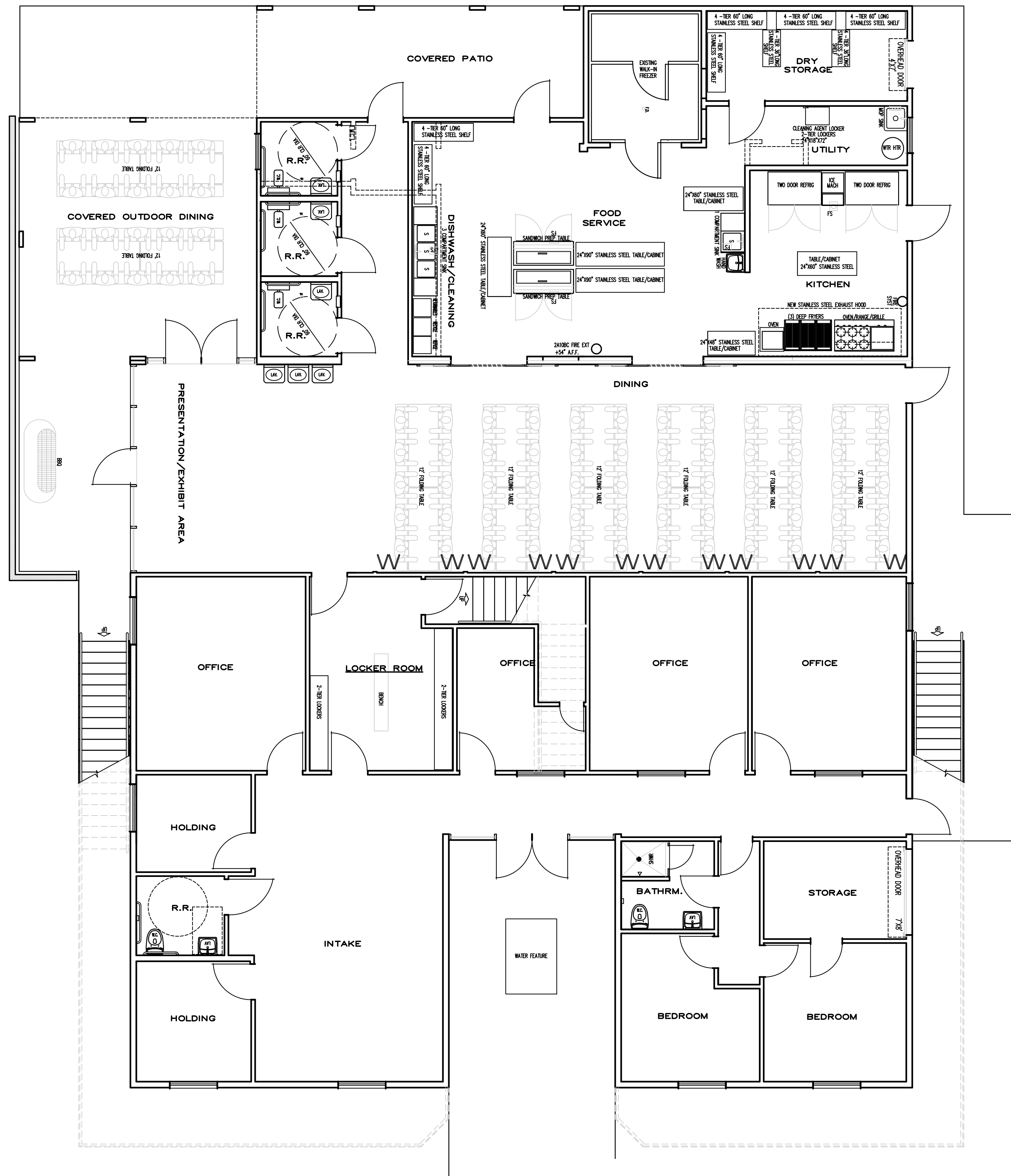
SCALE: 1" = 30'	ALBERT A. WEBB ASSOCIATES	ENGINEERING CONSULTANTS 3785 MCGRAY STREET RIVERSIDE, CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	W.O. 23-3227
DATE: 8/19/2024	DESIGNED: ABE	CHECKED: SKK	SHEET 5
PLN CK REF: F.B.			OF 5 SHEETS
			DWG. NO.

PRELIMINARY

Administration Building



Architectural Floor Plans and Elevations Prepared by Daniel Seagondollar Architect

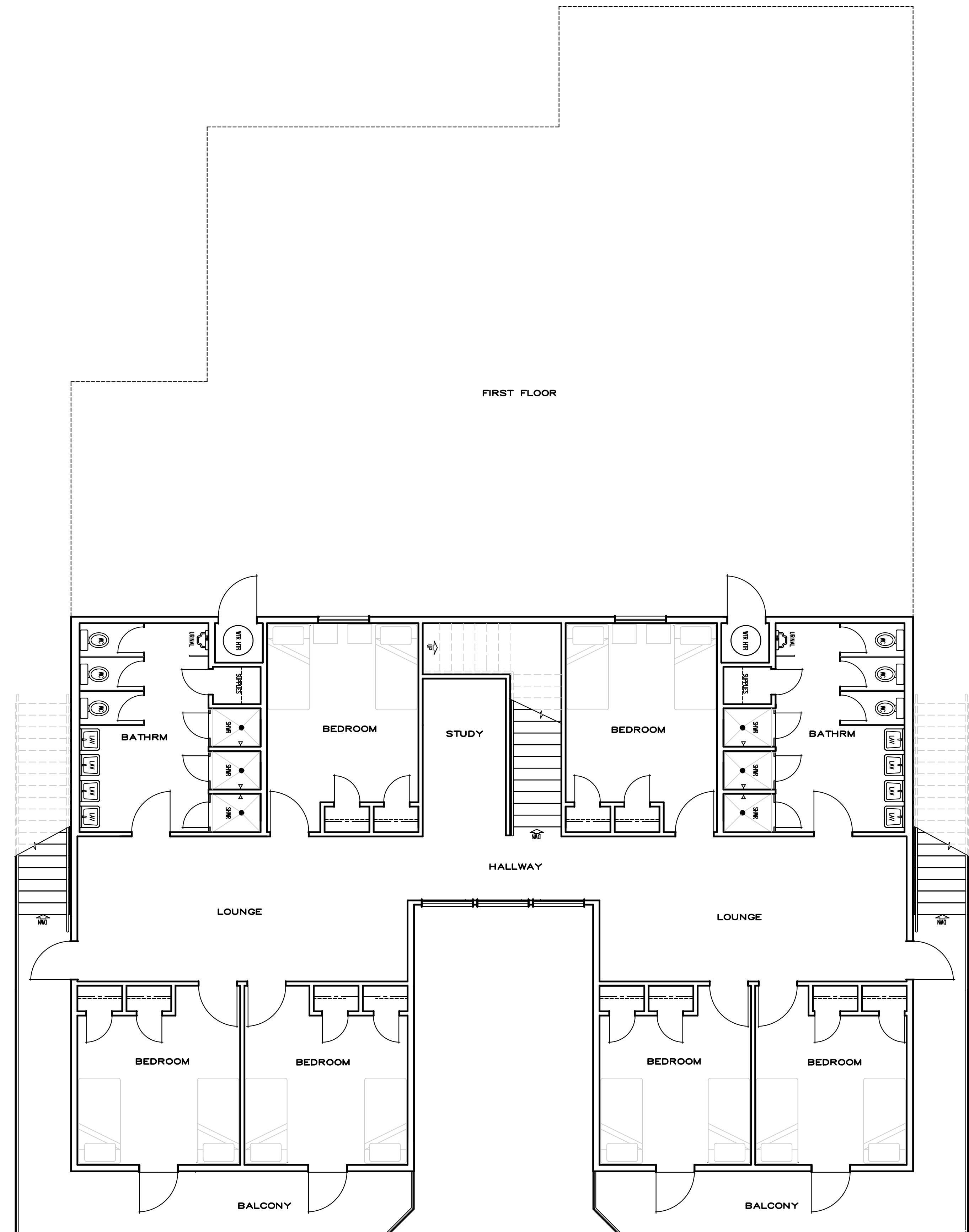


ADMINISTRATION FIRST FLOOR

- | | | | |
|-------------------|---------------|----------------------------------|--|
| 5122 SQ. FT. | 4 - OFFICES | 1 - FOOD PREPARATION | 1 - DINING AREA (60 PERSON SEATING AREA) |
| 1 - INTAKE AREA | 2 - BEDROOMS | 1 - KITCHEN | 1 - UTILITY ROOM |
| 2 - HOLDING ROOMS | 4 - OFFICES | 1 - STORAGE | 1 - OUTDOOR DINING |
| 1 - LOCKER ROOM | 5 - RESTROOMS | 1 - WALK-IN FREEZER/REFRIGERATOR | 1 - OUTDOOR BBQ/GRILLE |

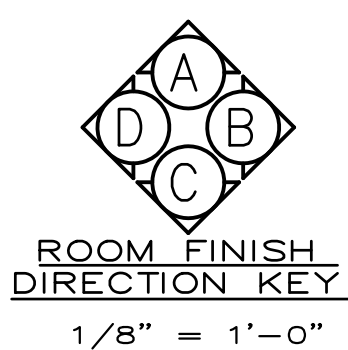
1/8" = 1'-0"

ADMINISTRATION - 1 ST. FLOOR PLAN



ADMINISTRATION SECOND FLOOR

- | |
|---------------|
| 2580 SQ. FT. |
| 6 - BEDROOMS |
| 2 - BATHROOMS |



1/8" = 1'-0"

ADMINISTRATION - 2 ND. FLOOR PLAN

DATE: 10-2020 JOB: COM92001

SPIRITUAL RESTORATION FACILITY for:
THE RIVERS EDGE RANCH
LUCERNE VALLEY CALIFORNIA

SHIT
A3

Daniel Seagondollar
ARCHITECT
22013 When Road ** Apple Valley CA ** (760)247-9879

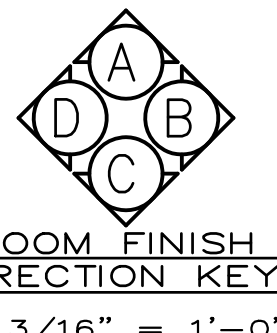
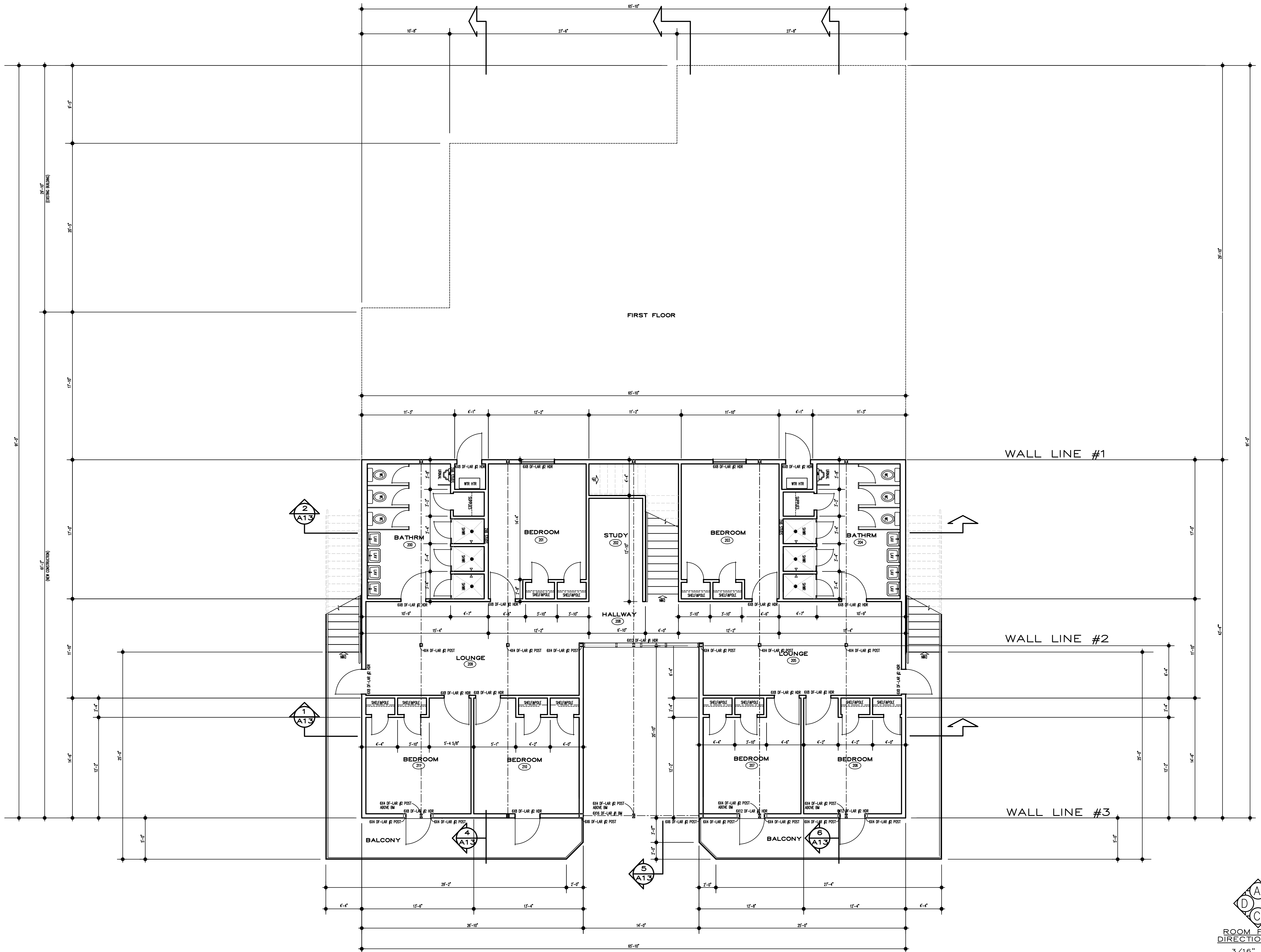
preliminary

ARCH ID#
C9201A03 72


$$3/16'' = 1'-0''$$

ADMINISTRATION - 1 ST. FLOOR PLAN

ARCH ID# C9201A04 72



ROOM FINISH
DIRECTION KEY
3/16" = 1'-0"

ADMINISTRATION - 2ND. FLOOR PLAN

DATE: 10-2020 JOB: COM92001

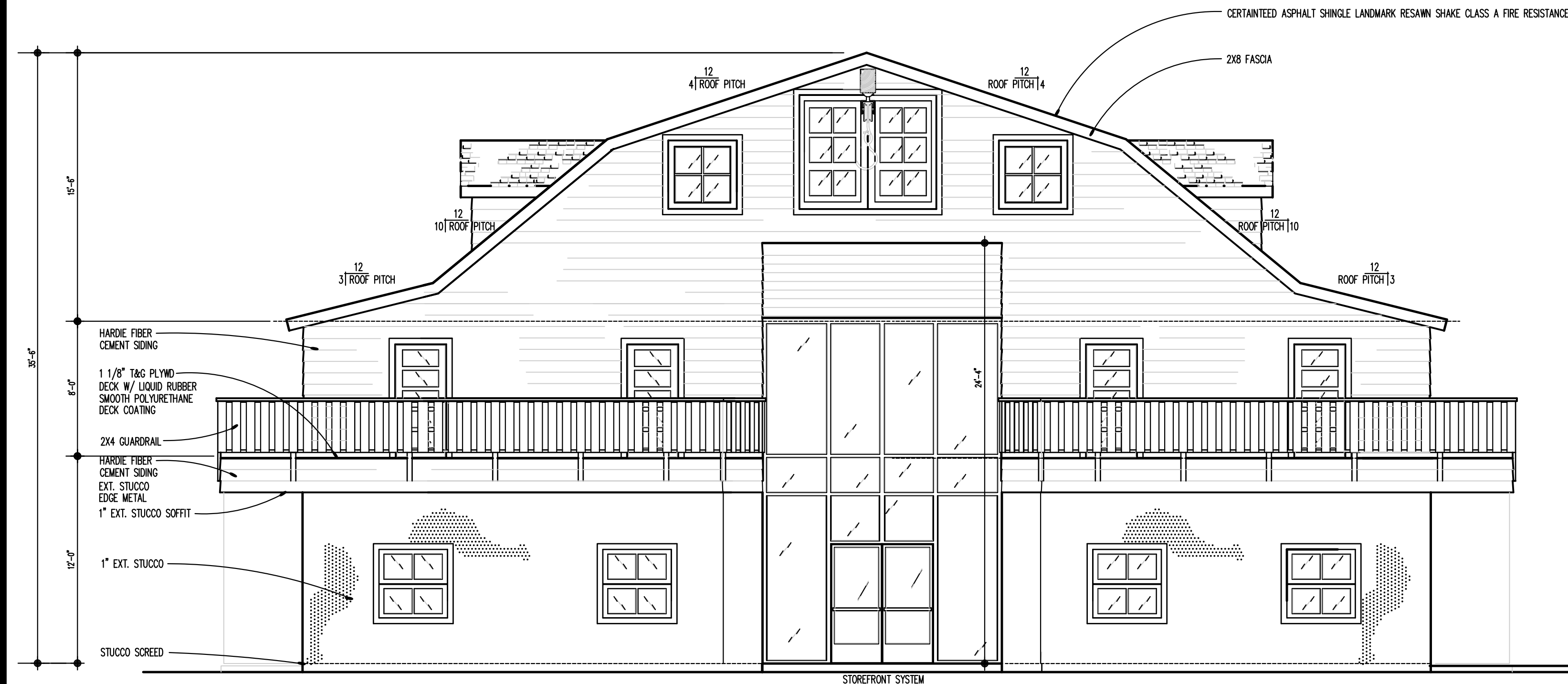
SPIRITUAL RESTORATION FACILITY for:
THE RIVERS EDGE RANCH
LUCERNE VALLEY CALIFORNIA

5HT
A5

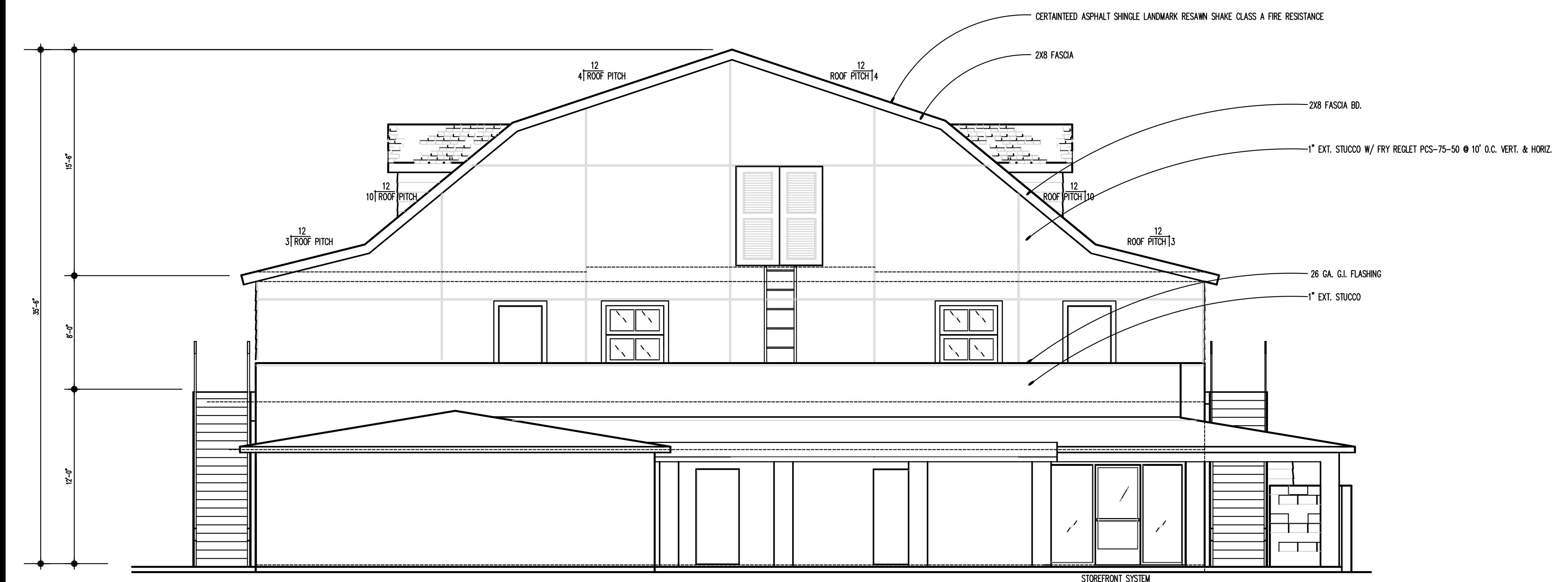
Daniel Seagondollar
ARCHITECT 22013 Wren Road ** Apple Valley CA ** (760)247-9879

preliminary

ARCH ID#
C9201A05 72


$$3/16'' = 1'-0''$$

NORTH (FRONT) EXTERIOR ELEVATION


$$3/16'' = 1'-0''$$

SOUTH EXTERIOR ELEVATION

JOB: COM92001

DATE: 10-2020

SIT A10

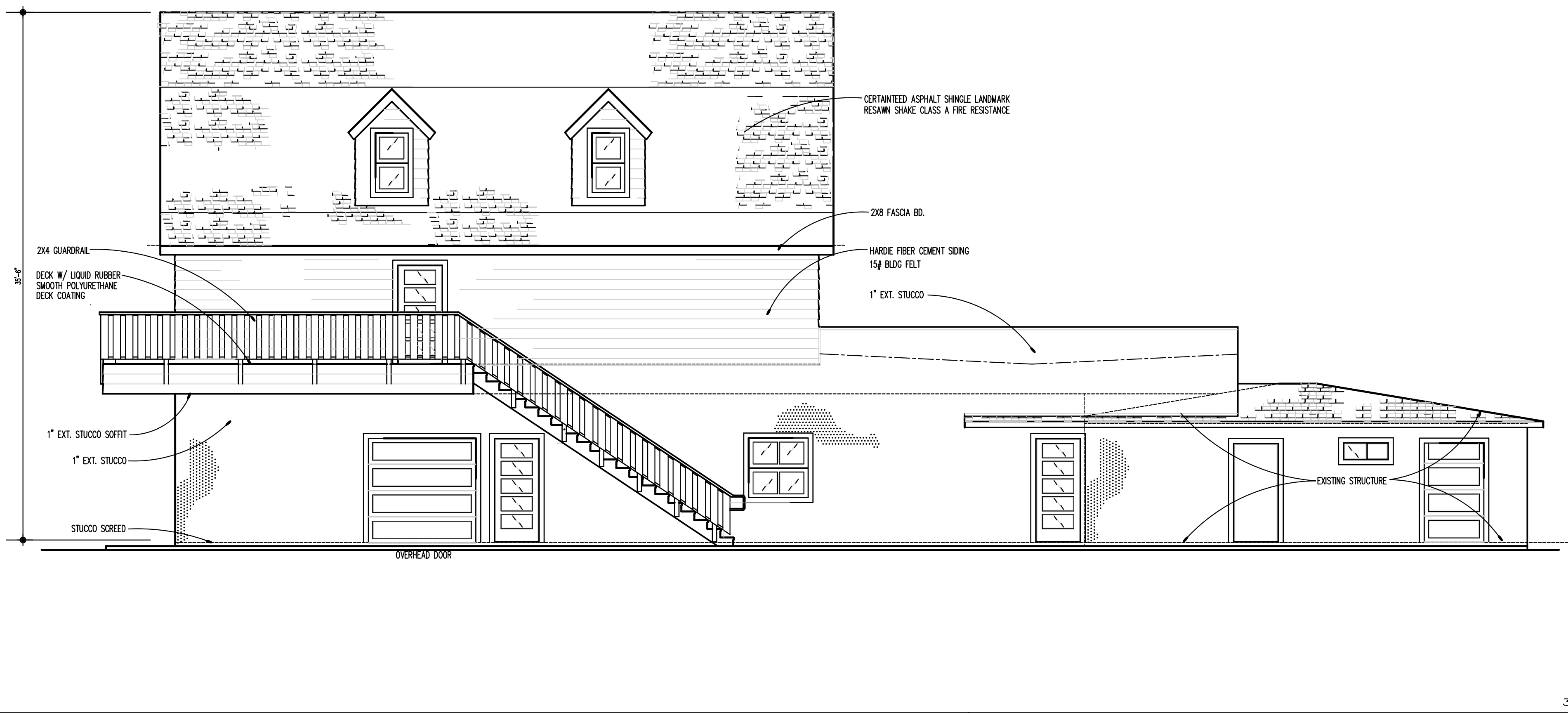
SPIRITUAL RESTORATION FACILITY for:
THE RIVERS EDGE RANCH
 LUCERNE VALLEY CALIFORNIA

Daniel Seagondollar
ARCHITECT
22013 Wren Road ** Apple Valley CA ** (760)247-9879

ARCH ID#
C9201A10 72



EAST EXTERIOR ELEVATION



WEST EXTERIOR ELEVATION

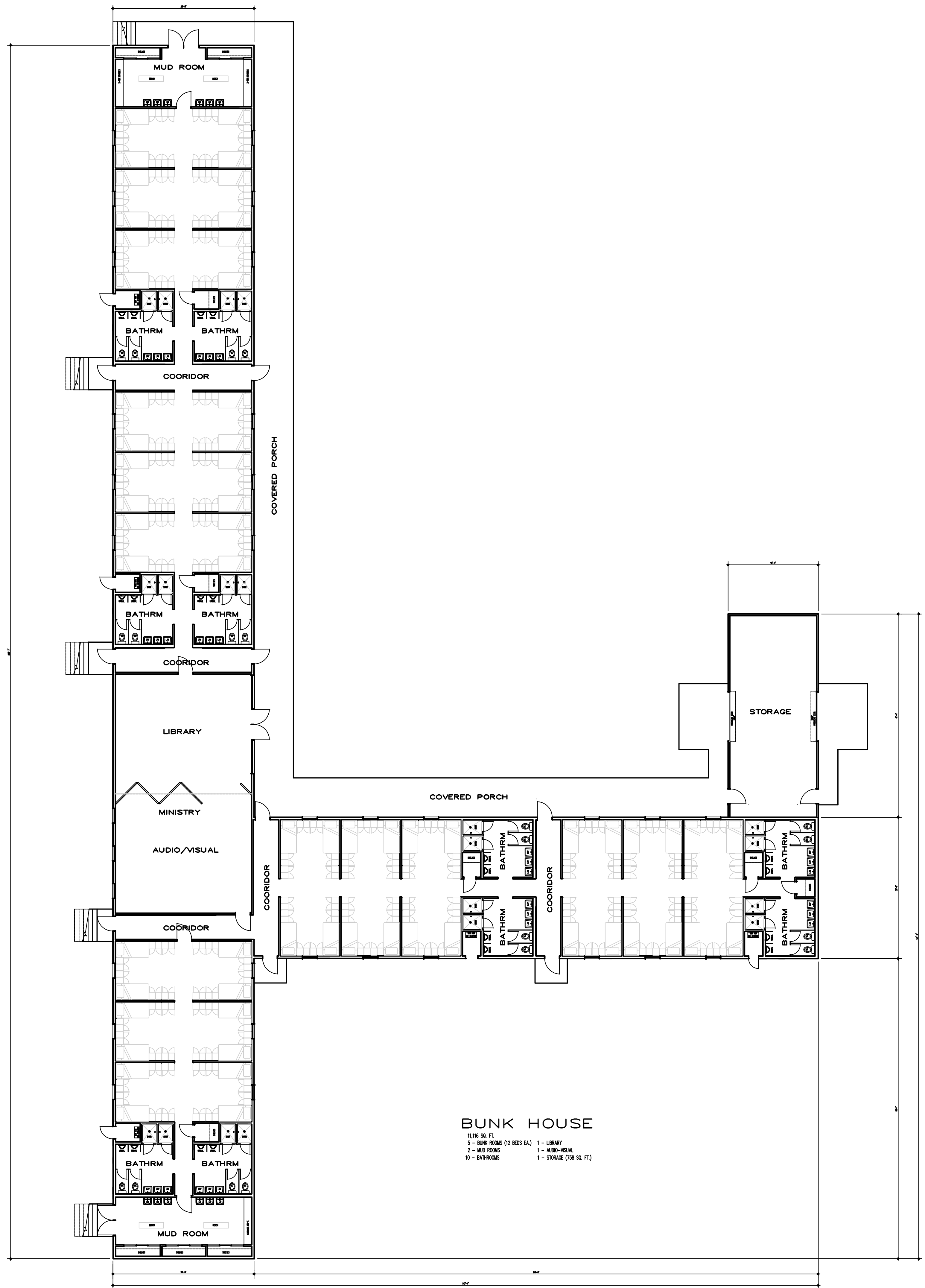
JOB: COM92001
DATE: 10-2020

SPIRITUAL RESTORATION FACILITY for:
THE RIVERS EDGE RANCH
LUCERNE VALLEY CALIFORNIA

Daniel Seagondollar
ARCHITECT
22013 Wren Road ** Apple Valley CA ** (760)247-9879

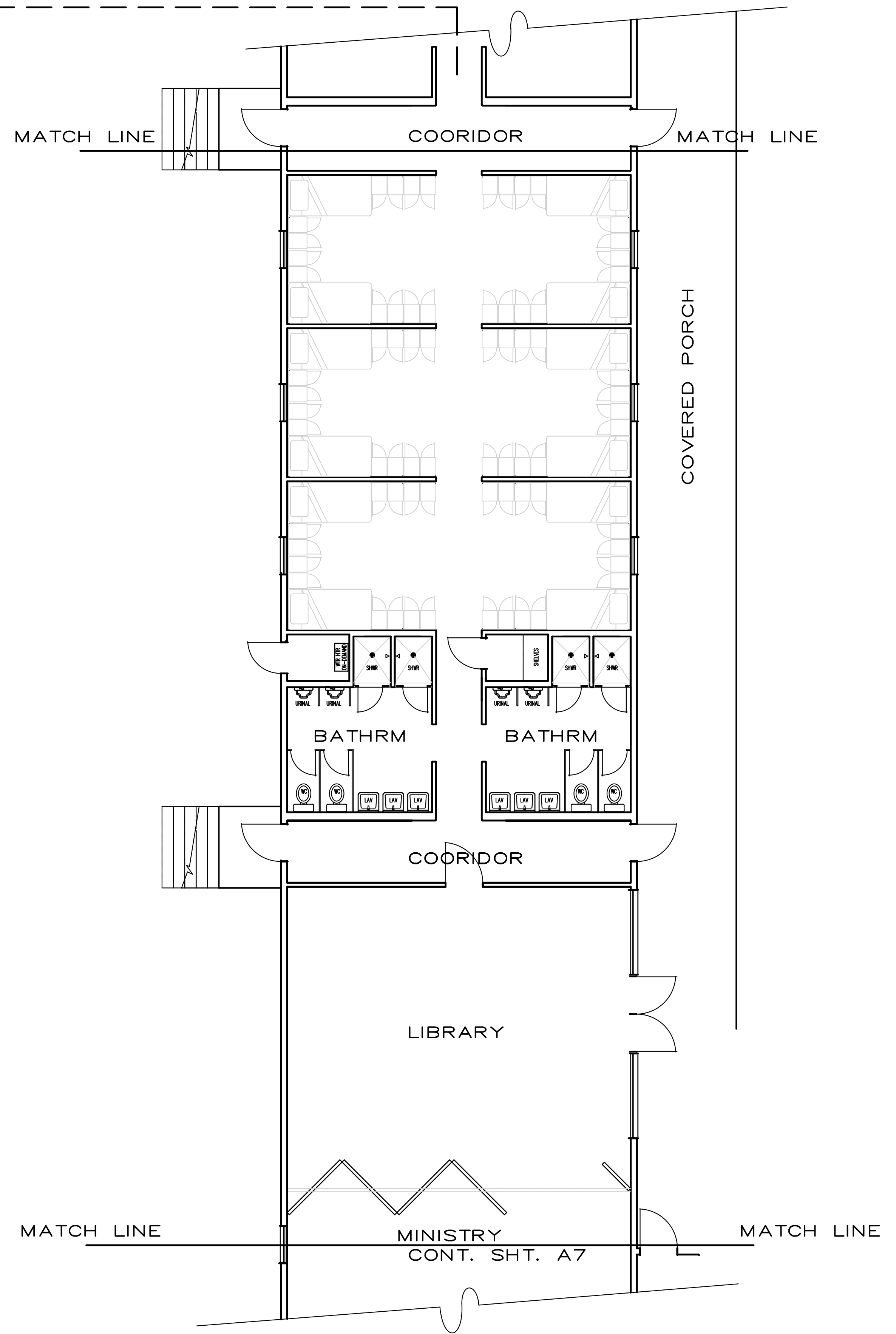
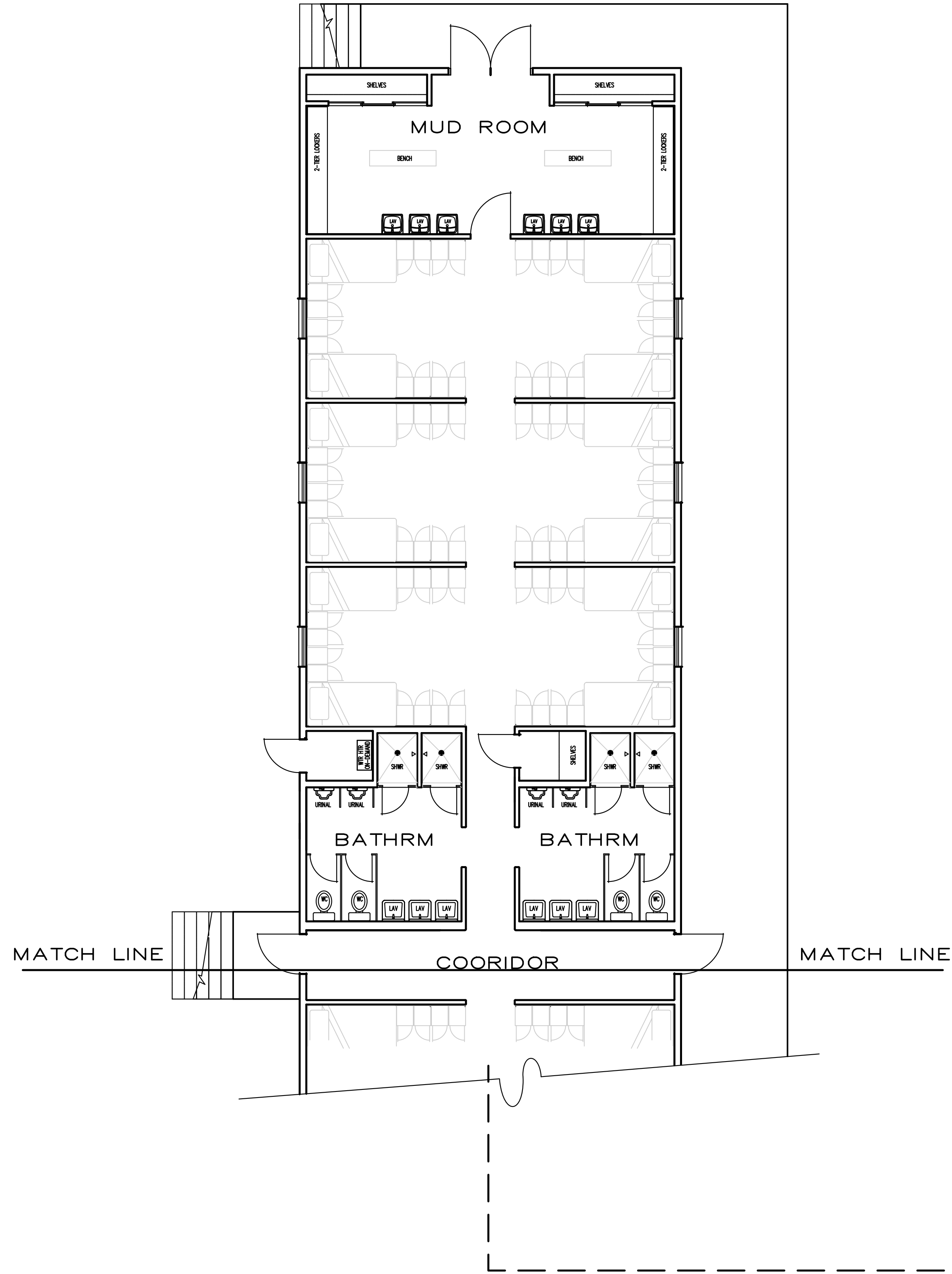
Bunk Houses





BUNK HOUSE

1/8" = 1'-0"



BUNK HOUSE

1/8" = 1'-0"

DATE: 10-2020 JOB: COM92001

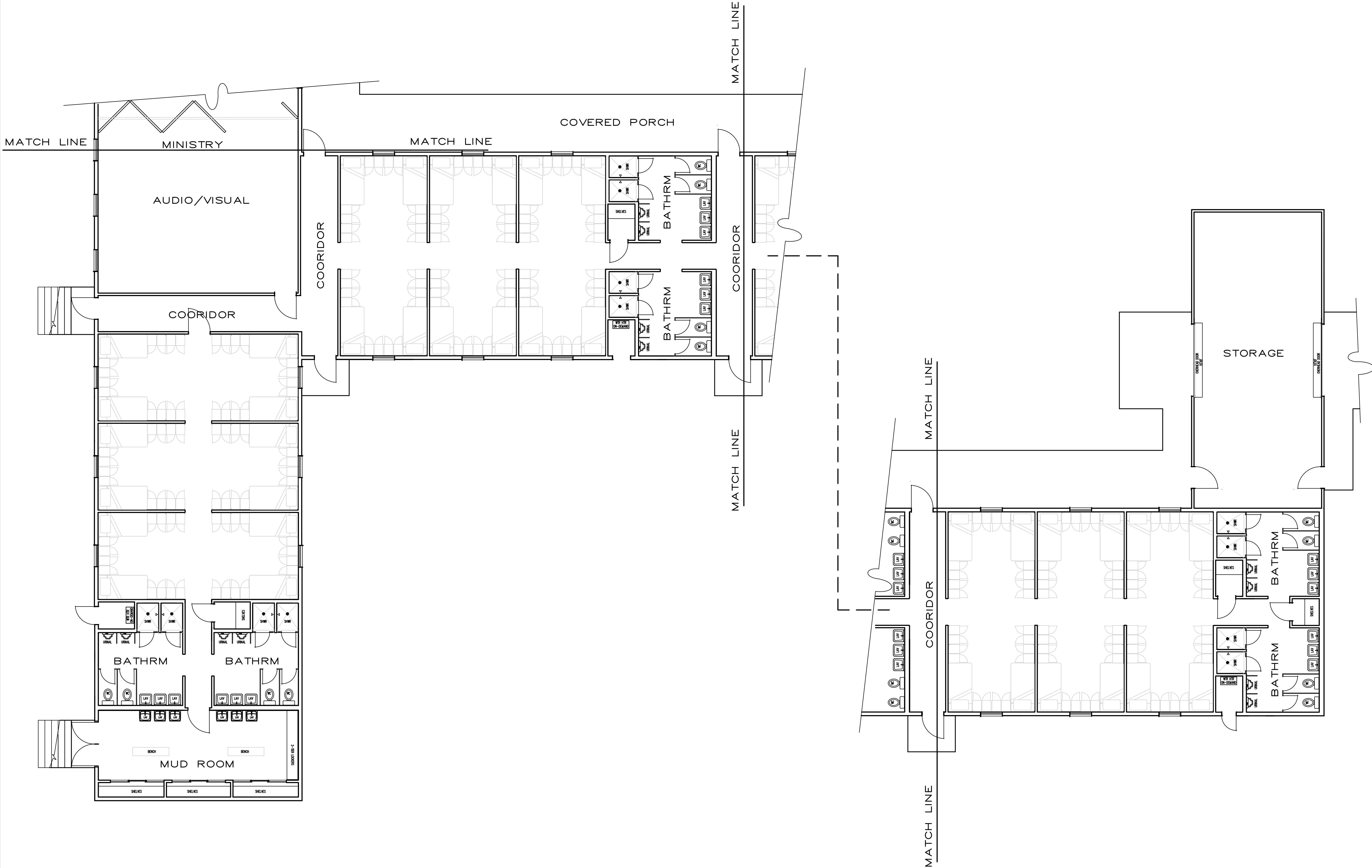
SPIRITUAL RESTORATION FACILITY for:
RIVERS EDGE RANCH
LUCERNE VALLEY CALIFORNIA

A6

Daniel Seagondollar
ARCHITECT

22013 Wren Road ** Apple Valley CA ** (760)247-9879

ARCH ID#
C9201A06 96



1/4" = 1'-0"

BUNK HOUSE

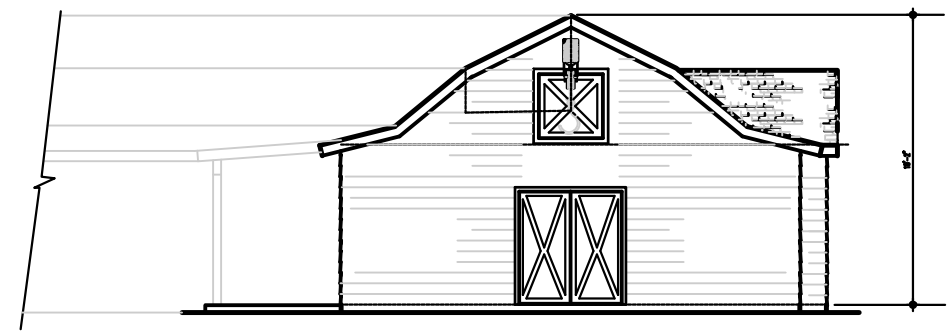
A7

01
SPIRITUAL RESTORATION FACILITY for:
RIVERS EDGE RANCH
LUCERNE VALLEY CALIFORNIA

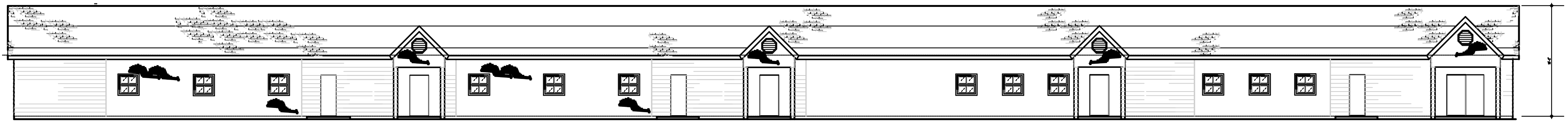
Daniel Seagondollar
ARCHITECT 22013 Wren Road ** Apple Valley CA ** (760)247-9879

DATE: 10-2020 JOB: COM92001

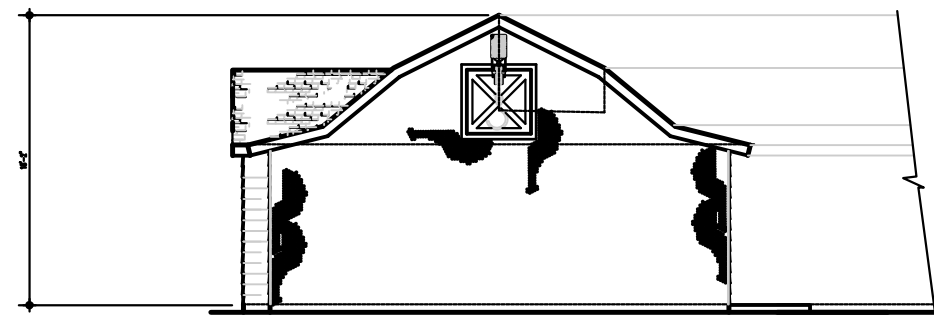
ARCH ID#
C9201A07



NORTH (FRONT) EXT. ELEVATION



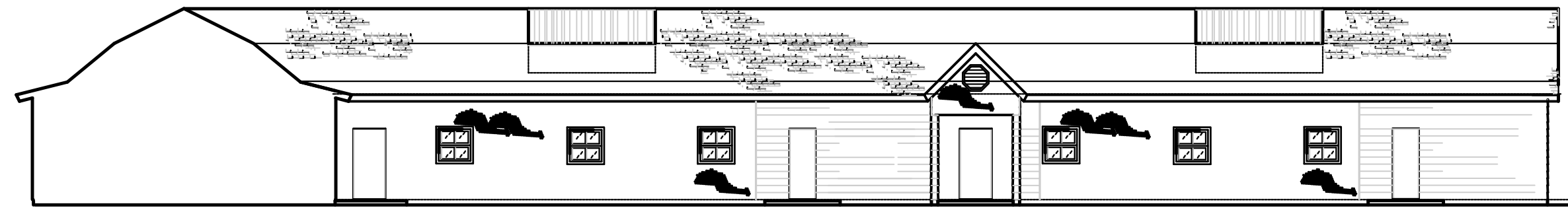
WEST EXTERIOR ELEVATION



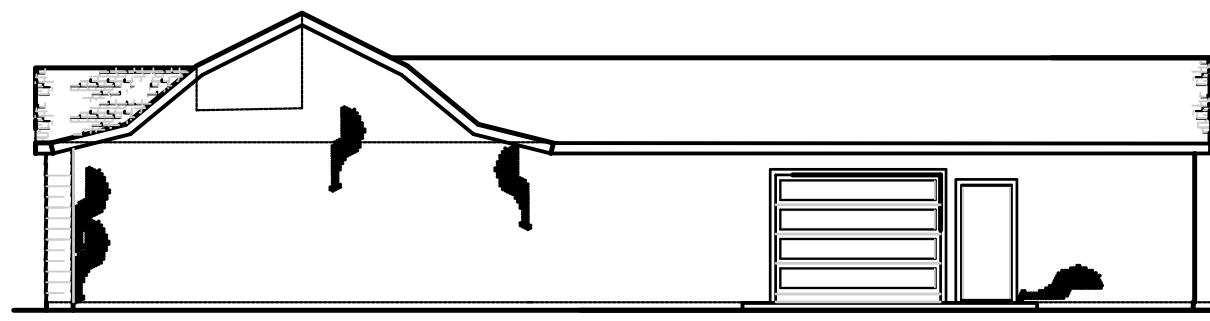
SOUTH EXT. ELEVATION



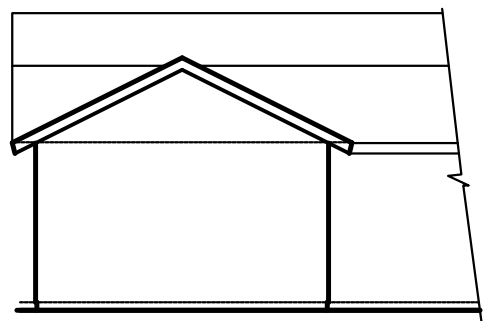
EAST COURTYARD EXTERIOR ELEVATION



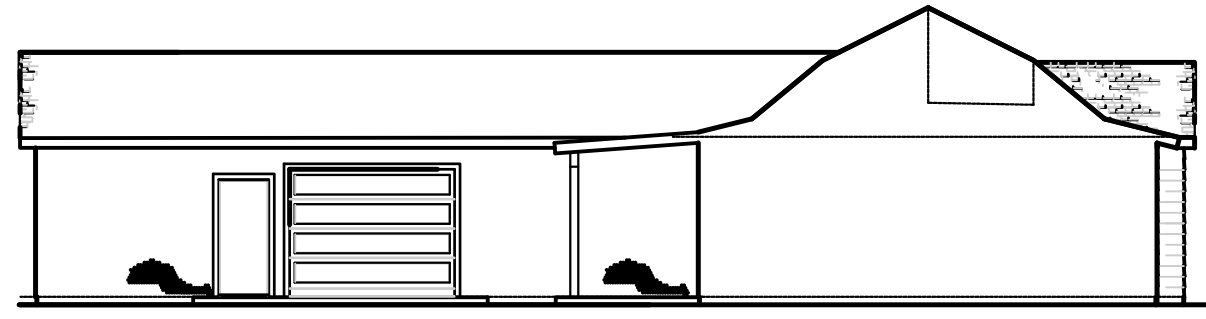
SOUTH EXT. ELEVATION



EAST STORAGE EXT. ELEVATION



NORTH STORAGE EXT. ELEVATION



WEST STORAGE EXT. ELEVATION



NORTH COURTYARD EXTERIOR ELEVATION

BUNK HOUSE EXTERIOR ELEVATIONS

1/8" = 1'-0"

DATE: 10-2020 JOB: COM92001

SHT
SPIRITUAL RESTORATION FACILITY for:
THE RIVERS EDGE RANCH
LUCERNE VALLEY CALIFORNIA

A9

Daniel Seagondollar
ARCHITECT

22013 Wren Road ** Apple Valley CA ** (760)247-9879

ARCH ID#
C9201A09 96

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EXHIBIT F

**LETTER FROM DEPARTMENT OF TOXIC SUBSTANCES
CONTROL**

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Yana Garcia
Secretary for
Environmental Protection



Department of Toxic Substances Control

Katherine M. Butler, MPH, Director
8800 Cal Center Drive
Sacramento, California 95826-3200
dtsc.ca.gov



Gavin Newsom
Governor

SENT VIA ELECTRONIC MAIL

July 2, 2025

Oliver Mujica
Contract Planner III
San Bernardino County
385 N Arrowhead Avenue
San Bernardino, CA 92415
Oliver.Mujica@lus.sbcounty.gov

RE: MITIGATED NEGATIVE DECLARATION FOR THE RIVER'S EDGE RANCH
DATED JUNE 30, 2025, STATE CLEARINGHOUSE NUMBER [2025061424](#)

Dear Oliver Mujica,

The Department of Toxic Substances Control (DTSC) reviewed the Mitigated Negative Declaration (MND) for The River's Edge Ranch (Project). The Project would consist of approximately 19,143 square feet of indoor space (Administration Building and Bunkhouse) and approximately 45,000 square feet of outdoor impervious area (parking area, access road and driveway entrances). To accommodate the proposed expansion, existing features on-site will be relocated or demolished. The Project will demolish the basketball court, dog pen and an existing shed located on the eastern portion of the Project site. The total surface area anticipated to be demolished is approximately 8,000 square feet.

DTSC recommends and requests consideration of the following comments:

1. If buildings or other structures are to be demolished on any Project sites included in the proposed Project, surveys should be conducted for the presence of lead-based paints or products, mercury, asbestos containing materials, and polychlorinated biphenyl caulk. Removal, demolition, and disposal of any of the above-mentioned chemicals should be conducted in

compliance with California environmental regulations and policies. In addition, sampling near current and/or former buildings should be conducted in accordance with [DTSC's Preliminary Endangerment Assessment \(PEA\) Guidance Manual](#).

2. All imported soil and fill material should be tested to assess any contaminants of concern meet screening levels as outlined in [DTSC's PEA Guidance Manual](#). Additionally, DTSC advises referencing the [DTSC Information Advisory Clean Imported Fill Material Fact Sheet](#) if importing fill is necessary. To minimize the possibility of introducing contaminated soil and/or fill material there should be documentation of the origins of the soil and/or fill material and, if applicable, sampling be conducted to ensure that the imported soil and fill material are suitable for the intended land use. The soil sampling should include analysis based on the source of the fill and knowledge of prior land use. Additional information can be found by visiting [DTSC's Human and Ecological Risk Office \(HERO\) webpage](#).

DTSC would like to thank you for the opportunity to comment on the MND for The River's Edge Ranch. Thank you for your assistance in protecting California's people and environment from the harmful effects of toxic substances. If you have any questions or would like clarification on DTSC's comments, please respond to this letter or via our [CEQA Review email](#) for additional guidance.

Sincerely,



Dave Kereazis
Associate Environmental Planner
HWMP-Permitting Division – CEQA Unit
Department of Toxic Substances Control
Dave.Kereazis@dtsc.ca.gov

Oliver Mujica

July 2, 2025

Page 3

cc: (via email)

Governor's Office of Land Use and Climate Innovation

State Clearinghouse

state.clearinghouse@lci.ca.gov

Doug Whiteman

President

The River's Edge Ranch

doug@riversedgeranch.org

Eliza Laws

Senior Environmental Analyst

Albert A Webb Associates / Consulting Firm

eliza.laws@webbassociates.com

Tamara Purvis

Associate Environmental Planner

HWMP - Permitting Division – CEQA Unit

Department of Toxic Substances Control

Tamara.Purvis@dtsc.ca.gov

Scott Wiley

Associate Governmental Program Analyst

HWMP - Permitting Division – CEQA Unit

Department of Toxic Substances Control

Scott.Wiley@dtsc.ca.gov

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EXHIBIT G

LETTER FROM DEPARTMENT OF FISH AND WILDLIFE

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State of California – Natural Resources Agency
DEPARTMENT OF FISH AND WILDLIFE
Inland Deserts Region
3602 Inland Empire Boulevard, Suite C-220
Ontario, CA 91764
www.wildlife.ca.gov

GAVIN NEWSOM, Governor
CHARLTON H. BONHAM, Director



July 10, 2025

Oliver Mujica
Contract Planner III
County of San Bernardino
385 N. Arrowhead Ave.
San Bernardino, CA 92415

Dear Oliver Mujica:

THE RIVER'S EDGE RANCH (Project)
MITIGATED NEGATIVE DECLARATION (MND)
SCH# 2025061424

The California Department of Fish and Wildlife (CDFW) received a Notice of Intent to Adopt an MND from the County of San Bernardino (County) for the Project pursuant to the California Environmental Quality Act (CEQA) and CEQA Guidelines.¹

Thank you for the opportunity to provide comments and recommendations regarding those activities involved in the Project that may affect California fish and wildlife. Likewise, we appreciate the opportunity to provide comments regarding those aspects of the Project that CDFW, by law, may be required to carry out or approve through the exercise of its own regulatory authority under the Fish and Game Code.

CDFW ROLE

CDFW is California's **Trustee Agency** for fish and wildlife resources and holds those resources in trust by statute for all the people of the State. (Fish & G. Code, §§ 711.7, subd. (a) & 1802; Pub. Resources Code, § 21070; CEQA Guidelines § 15386, subd. (a).) CDFW, in its trustee capacity, has jurisdiction over the conservation, protection, and management of fish, wildlife, native plants, and habitat necessary for biologically sustainable populations of those species. (*Id.*, § 1802.) Similarly, for purposes of CEQA, CDFW is charged by law to provide, as available, biological expertise during public agency environmental review efforts, focusing specifically on projects and related activities that have the potential to adversely affect fish and wildlife resources.

CDFW is also submitting comments as a **Responsible Agency** under CEQA. (Pub. Resources Code, § 21069; CEQA Guidelines, § 15381.) CDFW expects that it may need to exercise regulatory authority as provided by the Fish and Game Code. As proposed, for example, the Project may be subject to CDFW's lake and streambed alteration regulatory authority. (Fish & G. Code, § 1600 et seq.) Likewise, to the extent implementation of the Project as proposed may result in "take" as defined by State law of any species protected under the California Endangered Species Act (CESA) (Fish & G. Code, § 2050 et seq.), the project proponent may seek related take authorization as provided by the Fish and Game Code.

PROJECT DESCRIPTION SUMMARY

Proponent: Doug Whiteman, The River's Edge Ranch

Objective: The Project will expand an existing Administrative Building from 1,387 square feet to 8,029 square feet and construct a new 11,114 square foot Bunk House on a 20-acre site. To accommodate the proposed expansion, existing features on-site will be relocated or demolished. The Project will demolish the basketball court, dog pen, and an existing shed located on the eastern portion of the Project site. Additionally, both 12-foot gates at the access points along Haynes Road will be removed and replaced with a 40-foot gate. A tool shed, existing playground, horse wash station, and two corrals will be relocated on-site to accommodate the proposed Project,

¹ CEQA is codified in the California Public Resources Code in section 21000 et seq. The "CEQA Guidelines" are found in Title 14 of the California Code of Regulations, commencing with section 15000.

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Location: The Project is located at 33433 South Haynes Road, Lucerne Valley, California 92356-9054. More specifically, the Project is located at Assessor’s Parcel Number 0453-062-14-000.

Timeframe: Unknown.

COMMENTS AND RECOMMENDATIONS

CDFW appreciates the thoroughness of the measures in the draft MND to avoid and minimize impacts to biological resources. CDFW recommends only minor modifications to the measures below to assist the County in adequately identifying and/or mitigating the Project’s significant, or potentially significant, direct and indirect impacts on fish and wildlife (biological) resources. CDFW strongly recommends the following revisions to BIO-1 and BIO-2, and the adoption of BIO-3 (NEW) (edits are in ~~striketrough~~ and **bold**) in the final MND.

MM BIO-1:

Preconstruction surveys for ~~burrowing owls and~~ desert tortoise shall be conducted by a qualified biologist no less than 14 days prior to the start of Project-related activities and **again** within 24-hours prior to ground disturbance **within the Project site and 500-foot buffer** to determine if any ~~burrowing owls and/or~~ desert tortoise have moved in. **Surveys shall be consistent with the U.S. Fish and Wildlife Service Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise². The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows).** In the event that ~~burrowing owls and/or~~ desert tortoise are found within the Project site **or within a 500-foot buffer**, work shall be halted **immediately** and consultation with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize “take” of ~~burrowing owls and/or~~ desert tortoise. If ground disturbing activities **on the Project site in these areas** are delayed or suspended for more than 30 days after the preconstruction survey, the **Project** area shall be resurveyed for ~~burrowing owls and~~ desert tortoise.

MM BIO 2:

In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. ~~If site-preparation activities for an implementing project are proposed during the nesting/breeding season (February 1 to August 31),~~ **Regardless of the time of year**, a pre-activity field survey shall be conducted by a qualified biologist **no more than 3 days prior to any ground disturbing activities on the Project site** ~~prior to the issuance of grading permits for such project,~~ to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. **Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks, flushing suddenly from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors).** If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the nest is appropriate. ~~If active nests are not located within the~~

² U.S. Fish and Wildlife Service. 2019. Preparing for any Action that May Occur Within the Range of the Mojave Desert Tortoise (*Gopherus agassizzi*)

Oliver Mujica, Contract Planner III
 County of San Bernardino
 July 10, 2025
 Page 3

~~implementing project site and an appropriate buffer of 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected bird nests (nonlisted), or 100 feet of sensitive or protected songbird nests, construction may be conducted during the nesting/breeding season. The qualified biologist shall monitor the nest at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall be onsite daily to monitor all existing nests, the efficacy of established buffers, and to document any new nesting occurrences. However, if active nests are located during the pre-activity field survey, no grading or heavy equipment activity shall take place within at least 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected (under MBTA or California Fish and Game Code) bird nests (nonlisted), or within 100 feet of sensitive or protected songbird nests until the nest is no longer active. If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site, the Project Proponent shall immediately halt Project activities and contact CDFW Inland Deserts Region 6.~~

MM BIO-3 (NEW):

Prior to the initiation of ground disturbing Project activities, a qualified biologist shall conduct a burrowing owl habitat assessment of the Project area consistent with the *California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation*³. The assessment shall consist of walking the Project site to identify the presence of burrowing owl habitat. If the burrowing owl habitat assessment identifies burrowing owl habitat or sign on site (e.g., feathers, pellets, prey remains etc.), the Project Proponent shall have a qualified biologist perform focused breeding season surveys according to Appendix D of the 2012 Staff Report prior to initiation of Project activities. Occupancy of burrowing owl habitat is confirmed at a site when at least one burrowing owl, or its sign (e.g., feathers, pellets, prey remains etc.) at or near a burrow entrance is observed within the last 3 years. To confirm presence/absence of burrowing owl, the qualified biologist shall inspect all suitable burrows for evidence of burrowing owl within 3 days prior to Project initiation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Proponent shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Proponent should obtain a California Endangered Species Act Incidental Take Permit from CDFW.

ENVIRONMENTAL DATA

CEQA requires that information developed in environmental impact reports and negative declarations be incorporated into a database which may be used to make subsequent or supplemental environmental determinations. (Pub. Resources Code, § 21003, subd. (e).) Accordingly, please report any special status species and natural communities detected during Project surveys to the California Natural Diversity Database (CNDDDB). The CNDDDB field survey form can be filled out and submitted online at the following link: <https://wildlife.ca.gov/Data/CNDDDB/Submitting-Data>. The types of information reported to CNDDDB can be found at the following link: <https://www.wildlife.ca.gov/Data/CNDDDB/Plants-and-Animals>.

ENVIRONMENTAL DOCUMENT FILING FEES

The Project, as proposed, would have an impact on fish and/or wildlife, and assessment of environmental document filing fees is necessary. Fees are payable upon filing of the Notice of Determination by the Lead Agency and serve to help defray the cost of environmental review by CDFW. Payment of the environmental document filing fee is required in order for the underlying project approval to be operative, vested, and final. (Cal. Code Regs, tit. 14, § 753.5; Fish & G. Code, § 711.4; Pub. Resources Code, § 21089.)

³ California Department of Fish and Wildlife (CDFW). 2012. Staff Report on Burrowing Owl Mitigation.

Oliver Mujica, Contract Planner III
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CONCLUSION

CDFW appreciates the opportunity to comment on the MND to assist the County in identifying and mitigating Project impacts on biological resources.

Questions regarding this letter or further coordination should be directed to Emily Leon, Environmental Scientist, at Emily.Leon@wildlife.ca.gov or at (760) 644-5976.

Sincerely,

DocuSigned by:

6BBFAB19FE504F9...

For Alisa Ellsworth
Environmental Program Manager

ec: Office of Planning and Research, State Clearinghouse, Sacramento
state.clearinghouse@lci.ca.gov

Doug Whiteman, Project Applicant
River’s Edge Ranch
Doug@riversedgeranch.org

Eliza Laws, Senior Environmental Analyst
Albert A Webb Associates
Eliza.laws@webbassociates.com

ATTACHMENTS

Attachment A: Mitigation Monitoring Reporting Plan

REFERENCES

California Department of Fish and Wildlife (CDFW). 2012. Staff Report on Burrowing Owl Mitigation.

U.S. Fish and Wildlife Service (USFWS). 2019. Preparing for any action that may occur within the range of the Mojave Desert Tortoise (*Gopherus agassizii*).

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Attachment A

Mitigation Monitoring and Reporting Plan

Biological Resources (BIO)		
Mitigation Measure (MM)	Implementation Schedule	Responsible Party
<p><u>MM BIO-1:</u></p> <p>Preconstruction surveys for desert tortoise shall be conducted by a qualified biologist no less than 14 days prior to the start of Project-related activities and again within 24-hours prior to ground disturbance within the Project site and 500-foot buffer to determine if any desert tortoise have moved in. Surveys shall be consistent with the U.S. Fish and Wildlife Service Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise. The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows). In the event that desert tortoise are found within the Project site or within a 500-foot buffer, work shall be halted immediately and consultation with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize “take” of desert tortoise. If ground disturbing activities on the Project site are delayed or suspended for more than 30 days after the preconstruction survey, the Project area shall be resurveyed for desert tortoise.</p>	No less than 14 days prior to the start of Project-related activities and again within 24-hours prior to ground disturbance	Project Proponent and Qualified Biologist
<p><u>MM BIO 2:</u></p> <p>In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. Regardless of the time of year, a pre-activity field survey shall be conducted by a qualified biologist no more than 3 days prior to any ground disturbing activities on the Project site, to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks, flushing suddenly</p>	No more than 3 days prior to ground disturbing activities.	Project Proponent and Qualified Biologist

Oliver Mujica, Contract Planner III
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<p>from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors). If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the nest is appropriate. The qualified biologist shall monitor the nest at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall be onsite daily to monitor all existing nests, the efficacy of established buffers, and to document any new nesting occurrences. If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site, the Project Proponent shall immediately halt Project activities and contact CDFW Inland Deserts Region 6.</p>		
<p><u>MM BIO-3:</u></p> <p>Prior to the initiation of ground disturbing Project activities, a qualified biologist shall conduct a burrowing owl habitat assessment of the Project area consistent with the <i>California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation</i>. The assessment shall consist of walking the Project site to identify the presence of burrowing owl habitat. If the burrowing owl habitat assessment identifies burrowing owl habitat or sign on site (e.g., feathers, pellets, prey remains etc.), the Project Proponent shall have a qualified biologist perform focused breeding season surveys according to Appendix D of the 2012 Staff Report prior to initiation of Project activities. Occupancy of burrowing owl habitat is confirmed at a site when at least one burrowing owl, or its sign (e.g., feathers, pellets, prey remains etc.) at or near a burrow entrance is observed within the last 3 years. To confirm presence/absence of burrowing owl, the qualified biologist shall inspect all suitable burrows for evidence of burrowing owl within 3 days prior to Project initiation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Proponent shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Proponent should obtain a California Endangered Species Act Incidental Take Permit from CDFW.</p>	<p>Prior to ground disturbing activities and again within 3 days prior to ground disturbing activities</p>	<p>Project Proponent and Qualified Biologist</p>

EXHIBIT H

ERRATA AND RESPONSES TO LETTER FROM DFW

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Responses to Comments and Errata

Initial Study/Mitigated Negative Declaration PROJ-2021-00153

The River's Edge Ranch APN: 0453-062-14

Lead Agency:

San Bernardino County, Land Use Services Department
385 N. Arrowhead Avenue, 1st Floor
San Bernardino, CA 92415-0182
Contact: Oliver Mujica, Contract Planner III

August 2025

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Section 1.0	Introduction	RTC-1
Section 2.0	Comment Letters and Responses to Comments	RTC-1
	Comment Letter A – Department of Toxic Substances Control (DTSC)	RTC-2
	Response to Comment Letter A – Department of Toxic Substances Control (DTSC).....	RTC-6
	Comment Letter B – California Department of Fish and Wildlife (CDFW)	RTC-7
	Response to Comment Letter B – California Department of Fish and Wildlife (CDFW).....	RTC-14
Section 3.0	Errata.....	Errata-1
	Section IV. Biological Resources	Errata-1
	Section XXI. Mandatory Findings of Significance.....	Errata-3
	Section XXII. Mitigation Measures	Errata-4

SECTION 1.0 INTRODUCTION

Pursuant to the Guidelines for Implementation of the California Environmental Quality Act (State *CEQA Guidelines*) § 15073, the Initial Study/Mitigated Negative Declaration (IS/MND) for The River's Edge Ranch (Project No. 2021-00153) was circulated to the State Clearinghouse, Responsible Agencies, and interested parties that have requested notice for a 30-day period that commenced on June 30, 2025 and concluded on July 29, 2025 for public review and comment.

SECTION 2.0 COMMENT LETTERS AND RESPONSES TO COMMENTS

State *CEQA Guidelines* § 15074 requires the decision-making body to consider the proposed IS/MND together with any comments received during the public review process. There is no requirement for a formal response to each of the comments received (unlike the requirement for a Final Environmental Impact Report). However, in order to provide the County of San Bernardino with additional information upon which to base their decision whether to approve or deny the proposed Project, the following Responses to Comments has been prepared. Each comment letter is labeled alphabetically with each individual comment identified by a number. The responses are provided following each letter. All written comments have been made a part of the public record.

LIST OF PERSONS, ORGANIZATIONS AND AGENCIES THAT COMMENTED ON THE INITIAL STUDY

Letter	Commenting Party	Date
A	Department of Toxic Substances Control (DTSC)	July 2, 2025
B	California Department of Fish and Wildlife (CDFW)	July 10, 2025

Minor clarifications to the text of the IS/MND were made in response to comments received. Any revisions identified in the responses to comments, below, are reflected and summarized in *Section 3.0 – Errata*.

The clarifications to the text in Section 3.0 - Errata do not constitute “substantial revision” as defined in State *CEQA Guidelines* Section 15073.5(b); therefore, recirculation of the IS/MND is not required.

Comment Letter A – Department of Toxic Substances Control (DTSC)

Comment Letter A commences on the next page.



Yana Garcia
Secretary for
Environmental Protection



Department of Toxic Substances Control

Katherine M. Butler, MPH, Director
8800 Cal Center Drive
Sacramento, California 95826-3200
dtsc.ca.gov



Gavin Newsom
Governor

SENT VIA ELECTRONIC MAIL

July 2, 2025

Oliver Mujica
Contract Planner III
San Bernardino County
385 N Arrowhead Avenue
San Bernardino, CA 92415
Oliver.Mujica@lus.sbcounty.gov

RE: MITIGATED NEGATIVE DECLARATION FOR THE RIVER'S EDGE RANCH
DATED JUNE 30, 2025, STATE CLEARINGHOUSE NUMBER [2025061424](#)

Dear Oliver Mujica,

The Department of Toxic Substances Control (DTSC) reviewed the Mitigated Negative Declaration (MND) for The River's Edge Ranch (Project). The Project would consist of approximately 19,143 square feet of indoor space (Administration Building and Bunkhouse) and approximately 45,000 square feet of outdoor impervious area (parking area, access road and driveway entrances). To accommodate the proposed expansion, existing features on-site will be relocated or demolished. The Project will demolish the basketball court, dog pen and an existing shed located on the eastern portion of the Project site. The total surface area anticipated to be demolished is approximately 8,000 square feet.

DTSC recommends and requests consideration of the following comments:

1. If buildings or other structures are to be demolished on any Project sites included in the proposed Project, surveys should be conducted for the presence of lead-based paints or products, mercury, asbestos containing materials, and polychlorinated biphenyl caulk. Removal, demolition, and

A-1

A-2

disposal of any of the above-mentioned chemicals should be conducted in compliance with California environmental regulations and policies. In addition, sampling near current and/or former buildings should be conducted in accordance with [DTSC's Preliminary Endangerment Assessment \(PEA\) Guidance Manual](#).

A-2
Cont.

2. All imported soil and fill material should be tested to assess any contaminants of concern meet screening levels as outlined in [DTSC's PEA Guidance Manual](#). Additionally, DTSC advises referencing the [DTSC Information Advisory Clean Imported Fill Material Fact Sheet](#) if importing fill is necessary. To minimize the possibility of introducing contaminated soil and/or fill material there should be documentation of the origins of the soil and/or fill material and, if applicable, sampling be conducted to ensure that the imported soil and fill material are suitable for the intended land use. The soil sampling should include analysis based on the source of the fill and knowledge of prior land use. Additional information can be found by visiting [DTSC's Human and Ecological Risk Office \(HERO\) webpage](#).

A-3

DTSC would like to thank you for the opportunity to comment on the MND for The River's Edge Ranch. Thank you for your assistance in protecting California's people and environment from the harmful effects of toxic substances. If you have any questions or would like clarification on DTSC's comments, please respond to this letter or via our [CEQA Review email](#) for additional guidance.

A-4

Sincerely,



Dave Kereazis
Associate Environmental Planner
HWMP-Permitting Division – CEQA Unit
Department of Toxic Substances Control
Dave.Kereazis@dtsc.ca.gov

Oliver Mujica

July 2, 2025

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cc: (via email)

Governor's Office of Land Use and Climate Innovation

State Clearinghouse

state.clearinghouse@lci.ca.gov

Doug Whiteman

President

The River's Edge Ranch

doug@riversedgeranch.org

Eliza Laws

Senior Environmental Analyst

Albert A Webb Associates / Consulting Firm

eliza.laws@webbassociates.com

Tamara Purvis

Associate Environmental Planner

HWMP - Permitting Division – CEQA Unit

Department of Toxic Substances Control

Tamara.Purvis@dtsc.ca.gov

Scott Wiley

Associate Governmental Program Analyst

HWMP - Permitting Division – CEQA Unit

Department of Toxic Substances Control

Scott.Wiley@dtsc.ca.gov

Response to Comment Letter A – Department of Toxic Substances Control (DTSC)

Response to Comment A-1:

This introductory comment is noted, acknowledging that the Department of Toxic Substances (DTSC) reviewed the IS/MND and accurately describes DTSC's understanding of the proposed Project. This comment does not question the content or conclusions of the IS/MND.

Response to Comment A-2:

DTSC's recommendations for additional surveying and testing in the event demolition of buildings occur is noted. As mentioned in the *Project Description* of the IS/MND and in Comment A-1, the Project proposes demolition of a basketball court, dog pen and an existing shed located on the eastern portion of the Project site, for a total surface area of 8,000 square feet. The existing administration building will also be expanded. As stated in *Section IX. Hazards and Hazardous Materials*, of the IS/MND, Project construction is required to comply with all applicable federal, state, and local agencies and regulations (IS/MND, pp. 49-50). As further outlined in the Countywide Plan Regulatory Requirement (RR), RR HAZ-4 – ACMs and LBPs, demolition activities that have the potential to expose construction workers and/or the public to asbestos-containing materials (ACMs) or lead-based paint (LBP) must comply with Mojave Desert Air Quality Management District's Rule 1000, California Health and Safety Code (Section 39650 et seq.), California Code of Regulations (Title 8, Section 1529), California Occupational Safety and Health Administration regulations (California Code of Regulations, Title 8, Section 1529 [Asbestos] and Section 1532.1 [Lead]), Code of Federal Regulations (Title 40, Part 61 [asbestos], Title 40, Part 763 [asbestos], and Title 29, Part 1926 [asbestos and lead]). Similarly, RR HAZ-5 – Removal of Hazardous Materials requires the removal of hazardous materials, such as polychlorinated biphenyls (PCBs), mercury-containing light ballast, and mold, to be completed in accordance with applicable regulations pursuant to 40 CFR 761 (PCBs), 40 CFR 273 (mercury-containing light ballast), and 29 CFR 1926 (molds) by workers with the hazardous waste operations and emergency response (HAZWOPER) training, as outlined in 29 CFR 1910.120 and 8 CCR 5192 (CSB CP DEIR, p. 5.8-15). Additionally, the Project is required to comply with standard County conditions of approval for demolition debris, which states that any debris generated by demolition of structures are subject to asbestos clearance prior to disposal at any San Bernardino County owned and operated landfills and transfer stations.

As such, no new environmental issues are raised by this comment and no further analysis or revisions to the IS/MND are required.

Response to Comment A-3:

DTSC's recommendations for additional testing of imported soils is noted. As indicated in *Section VII. Geology and Soils* of the IS/MND, the Project is required to comply with the recommendations included in the Geotechnical Evaluation included as Appendix D (IS/MND, p. 43). Such recommendations include evaluating the suitability of on-site and import materials for fill placement and collect soil samples for laboratory testing when necessary (IS/MND Appendix D, p. 25). As such, no new environmental issues are raised by this comment and no further analysis or revisions to the IS/MND are required.

Response to Comment A-4:

The County appreciates DTSC's participation in the CEQA process. This comment does not question the content or conclusions of the IS/MND.

Comment Letter B – California Department of Fish and Wildlife (CDFW)

Comment Letter B commences on the next page.



State of California – Natural Resources Agency
DEPARTMENT OF FISH AND WILDLIFE
Inland Deserts Region
3602 Inland Empire Boulevard, Suite C-220
Ontario, CA 91764
www.wildlife.ca.gov

GAVIN NEWSOM, Governor
CHARLTON H. BONHAM, Director



July 10, 2025

Oliver Mujica
Contract Planner III
County of San Bernardino
385 N. Arrowhead Ave.
San Bernardino, CA 92415

Dear Oliver Mujica:

THE RIVER'S EDGE RANCH (Project)
MITIGATED NEGATIVE DECLARATION (MND)
SCH# 2025061424

The California Department of Fish and Wildlife (CDFW) received a Notice of Intent to Adopt an MND from the County of San Bernardino (County) for the Project pursuant to the California Environmental Quality Act (CEQA) and CEQA Guidelines.¹

Thank you for the opportunity to provide comments and recommendations regarding those activities involved in the Project that may affect California fish and wildlife. Likewise, we appreciate the opportunity to provide comments regarding those aspects of the Project that CDFW, by law, may be required to carry out or approve through the exercise of its own regulatory authority under the Fish and Game Code.

CDFW ROLE

CDFW is California's **Trustee Agency** for fish and wildlife resources and holds those resources in trust by statute for all the people of the State. (Fish & G. Code, §§ 711.7, subd. (a) & 1802; Pub. Resources Code, § 21070; CEQA Guidelines § 15386, subd. (a).) CDFW, in its trustee capacity, has jurisdiction over the conservation, protection, and management of fish, wildlife, native plants, and habitat necessary for biologically sustainable populations of those species. (*Id.*, § 1802.) Similarly, for purposes of CEQA, CDFW is charged by law to provide, as available, biological expertise during public agency environmental review efforts, focusing specifically on projects and related activities that have the potential to adversely affect fish and wildlife resources.

B-1

CDFW is also submitting comments as a **Responsible Agency** under CEQA. (Pub. Resources Code, § 21069; CEQA Guidelines, § 15381.) CDFW expects that it may need to exercise regulatory authority as provided by the Fish and Game Code. As proposed, for example, the Project may be subject to CDFW's lake and streambed alteration regulatory authority. (Fish & G. Code, § 1600 et seq.) Likewise, to the extent implementation of the Project as proposed may result in "take" as defined by State law of any species protected under the California Endangered Species Act (CESA) (Fish & G. Code, § 2050 et seq.), the project proponent may seek related take authorization as provided by the Fish and Game Code.

PROJECT DESCRIPTION SUMMARY

Proponent: Doug Whiteman, The River's Edge Ranch

Objective: The Project will expand an existing Administrative Building from 1,387 square feet to 8,029 square feet and construct a new 11,114 square foot Bunk House on a 20-acre site. To accommodate the proposed expansion, existing features on-site will be relocated or demolished. The Project will demolish the basketball court, dog pen, and an existing shed located on the eastern portion of the Project site. Additionally, both 12-foot gates at the access points along Haynes Road will be removed and replaced with a 40-foot gate. A tool shed, existing playground, horse wash station, and two corrals will be relocated on-site to accommodate the proposed Project,

B-2

¹ CEQA is codified in the California Public Resources Code in section 21000 et seq. The "CEQA Guidelines" are found in Title 14 of the California Code of Regulations, commencing with section 15000.

Oliver Mujica, Contract Planner III
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Location: The Project is located at 33433 South Haynes Road, Lucerne Valley, California 92356-9054. More specifically, the Project is located at Assessor's Parcel Number 0453-062-14-000.

B-2
Cont.

Timeframe: Unknown.

COMMENTS AND RECOMMENDATIONS

CDFW appreciates the thoroughness of the measures in the draft MND to avoid and minimize impacts to biological resources. CDFW recommends only minor modifications to the measures below to assist the County in adequately identifying and/or mitigating the Project's significant, or potentially significant, direct and indirect impacts on fish and wildlife (biological) resources. CDFW strongly recommends the following revisions to BIO-1 and BIO-2, and the adoption of BIO-3 (NEW) (edits are in ~~strike through~~ and **bold**) in the final MND.

B-3

MM BIO-1:

Preconstruction surveys for ~~burrowing owls and~~ desert tortoise shall be conducted by a qualified biologist no less than 14 days prior to the start of Project-related activities and **again** within 24-hours prior to ground disturbance **within the Project site and 500-foot buffer** to determine if any ~~burrowing owls and/or~~ desert tortoise have moved in. **Surveys shall be consistent with the U.S. Fish and Wildlife Service Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise². The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows).** In the event that ~~burrowing owls and/or~~ desert tortoise are found within the Project site **or within a 500-foot buffer**, work shall be halted **immediately** and consultation with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize "take" of ~~burrowing owls and/or~~ desert tortoise. If ground disturbing activities **on the Project site** ~~in these areas~~ are delayed or suspended for more than 30 days after the preconstruction survey, the **Project** area shall be resurveyed for ~~burrowing owls and~~ desert tortoise.

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MM BIO 2:

In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. ~~If site-preparation activities for an implementing project are proposed during the nesting/breeding season (February 1 to August 31),~~ **Regardless of the time of year**, a pre-activity field survey shall be conducted by a qualified biologist **no more than 3 days prior to any ground disturbing activities on the Project site** ~~prior to the issuance of grading permits for such project~~, to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. **Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks, flushing suddenly from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors).** If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the nest is appropriate. ~~If active nests are not located within the~~

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² U.S. Fish and Wildlife Service. 2019. Preparing for any Action that May Occur Within the Range of the Mojave Desert Tortoise (*Gopherus agassizii*)

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implementing project site and an appropriate buffer of 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected bird nests (nonlisted), or 100 feet of sensitive or protected songbird nests, construction may be conducted during the nesting/breeding season. **The qualified biologist shall monitor the nest at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall be onsite daily to monitor all existing nests, the efficacy of established buffers, and to document any new nesting occurrences.** However, if active nests are located during the pre-activity field survey, no grading or heavy equipment activity shall take place within at least 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected (under MBTA or California Fish and Game Code) bird nests (nonlisted), or within 100 feet of sensitive or protected songbird nests until the nest is no longer active. **If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site, the Project Proponent shall immediately halt Project activities and contact CDFW Inland Deserts Region 6.**

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Cont.

MM BIO-3 (NEW):

Prior to the initiation of ground disturbing Project activities, a qualified biologist shall conduct a burrowing owl habitat assessment of the Project area consistent with the *California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation*³. The assessment shall consist of walking the Project site to identify the presence of burrowing owl habitat. If the burrowing owl habitat assessment identifies burrowing owl habitat or sign on site (e.g., feathers, pellets, prey remains etc.), the Project Proponent shall have a qualified biologist perform focused breeding season surveys according to Appendix D of the 2012 Staff Report prior to initiation of Project activities. Occupancy of burrowing owl habitat is confirmed at a site when at least one burrowing owl, or its sign (e.g., feathers, pellets, prey remains etc.) at or near a burrow entrance is observed within the last 3 years. To confirm presence/absence of burrowing owl, the qualified biologist shall inspect all suitable burrows for evidence of burrowing owl within 3 days prior to Project initiation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Proponent shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Proponent should obtain a California Endangered Species Act Incidental Take Permit from CDFW.

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ENVIRONMENTAL DATA

CEQA requires that information developed in environmental impact reports and negative declarations be incorporated into a database which may be used to make subsequent or supplemental environmental determinations. (Pub. Resources Code, § 21003, subd. (e).) Accordingly, please report any special status species and natural communities detected during Project surveys to the California Natural Diversity Database (CNDDB). The CNDDB field survey form can be filled out and submitted online at the following link: <https://wildlife.ca.gov/Data/CNDDB/Submitting-Data>. The types of information reported to CNDDB can be found at the following link: <https://www.wildlife.ca.gov/Data/CNDDB/Plants-and-Animals>.

B-7

ENVIRONMENTAL DOCUMENT FILING FEES

The Project, as proposed, would have an impact on fish and/or wildlife, and assessment of environmental document filing fees is necessary. Fees are payable upon filing of the Notice of Determination by the Lead Agency and serve to help defray the cost of environmental review by CDFW. Payment of the environmental document filing fee is required in order for the underlying project approval to be operative, vested, and final. (Cal. Code Regs, tit. 14, § 753.5; Fish & G. Code, § 711.4; Pub. Resources Code, § 21089.)

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³ California Department of Fish and Wildlife (CDFW). 2012. Staff Report on Burrowing Owl Mitigation.

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CONCLUSION

CDFW appreciates the opportunity to comment on the MND to assist the County in identifying and mitigating Project impacts on biological resources.

Questions regarding this letter or further coordination should be directed to Emily Leon, Environmental Scientist, at Emily.Leon@wildlife.ca.gov or at (760) 644-5976.

Sincerely,

DocuSigned by:

6BBFAB19FE504F9...

For Alisa Ellsworth
Environmental Program Manager

ec: Office of Planning and Research, State Clearinghouse, Sacramento
state.clearinghouse@lci.ca.gov

Doug Whiteman, Project Applicant
River's Edge Ranch
Doug@riversedgeranch.org

Eliza Laws, Senior Environmental Analyst
Albert A Webb Associates
Eliza.laws@webbassociates.com

ATTACHMENTS

Attachment A: Mitigation Monitoring Reporting Plan

REFERENCES

California Department of Fish and Wildlife (CDFW). 2012. Staff Report on Burrowing Owl Mitigation.

U.S. Fish and Wildlife Service (USFWS). 2019. Preparing for any action that may occur within the range of the Mojave Desert Tortoise (*Gopherus agassizii*).

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Attachment A

Mitigation Monitoring and Reporting Plan

Biological Resources (BIO)		
Mitigation Measure (MM)	Implementation Schedule	Responsible Party
<p><u>MM BIO-1:</u></p> <p>Preconstruction surveys for desert tortoise shall be conducted by a qualified biologist no less than 14 days prior to the start of Project-related activities and again within 24-hours prior to ground disturbance within the Project site and 500-foot buffer to determine if any desert tortoise have moved in. Surveys shall be consistent with the U.S. Fish and Wildlife Service Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise. The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows). In the event that desert tortoise are found within the Project site or within a 500-foot buffer, work shall be halted immediately and consultation with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize “take” of desert tortoise. If ground disturbing activities on the Project site are delayed or suspended for more than 30 days after the preconstruction survey, the Project area shall be resurveyed for desert tortoise.</p>	<p>No less than 14 days prior to the start of Project-related activities and again within 24-hours prior to ground disturbance</p>	<p>Project Proponent and Qualified Biologist</p>
<p><u>MM BIO 2:</u></p> <p>In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. Regardless of the time of year, a pre-activity field survey shall be conducted by a qualified biologist no more than 3 days prior to any ground disturbing activities on the Project site, to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks, flushing suddenly</p>	<p>No more than 3 days prior to ground disturbing activities.</p>	<p>Project Proponent and Qualified Biologist</p>

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<p>from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors). If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the nest is appropriate. The qualified biologist shall monitor the nest at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall be onsite daily to monitor all existing nests, the efficacy of established buffers, and to document any new nesting occurrences. If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site, the Project Proponent shall immediately halt Project activities and contact CDFW Inland Deserts Region 6.</p>		
<p><u>MM BIO-3:</u></p> <p>Prior to the initiation of ground disturbing Project activities, a qualified biologist shall conduct a burrowing owl habitat assessment of the Project area consistent with the <i>California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation</i>. The assessment shall consist of walking the Project site to identify the presence of burrowing owl habitat. If the burrowing owl habitat assessment identifies burrowing owl habitat or sign on site (e.g., feathers, pellets, prey remains etc.), the Project Proponent shall have a qualified biologist perform focused breeding season surveys according to Appendix D of the 2012 Staff Report prior to initiation of Project activities. Occupancy of burrowing owl habitat is confirmed at a site when at least one burrowing owl, or its sign (e.g., feathers, pellets, prey remains etc.) at or near a burrow entrance is observed within the last 3 years. To confirm presence/absence of burrowing owl, the qualified biologist shall inspect all suitable burrows for evidence of burrowing owl within 3 days prior to Project initiation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Proponent shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Proponent should obtain a California Endangered Species Act Incidental Take Permit from CDFW.</p>	<p>Prior to ground disturbing activities and again within 3 days prior to ground disturbing activities</p>	<p>Project Proponent and Qualified Biologist</p>

Response to Comment Letter B – California Department of Fish and Wildlife (CDFW)

Response to Comment B-1:

This introductory comment is noted, acknowledging that the California Department of Fish and Wildlife (CDFW) reviewed the IS/MND and identifying their role as a Trustee Agency for fish and wildlife resources and as a Responsible Agency under CEQA. This comment does not question the content or conclusions of the IS/MND.

Response to Comment B-2:

This summary comment accurately describes CDFW's understanding of the proposed Project. This comment does not question the content or conclusions of the IS/MND.

Response to Comment B-3:

CDFW's comments and recommendations, which are detailed in the subsequent comments and responded to herein, are noted. This comment does not question the content or conclusions of the IS/MND.

Response to Comment B-4:

As recommended by CDFW, the mitigation for burrowing owl and desert tortoise will be separated into two separate measures. Mitigation measure **MM BIO-1** will be clarified and amplified, as shown below, for desert tortoise. Refer to Response to Comment B-6, for the clarified mitigation measure for burrowing owl.

MM BIO-1: Preconstruction surveys for ~~burrowing owls and~~ desert tortoise shall be conducted by a qualified biologist no ~~more~~ less than 14 days prior to the start of Project-related activities ~~and within 24 hours~~ prior to ground disturbance within the Project site and any off-site areas in which construction activities, including staging, would occur to determine if any ~~burrowing owls and/or~~ desert tortoise have moved in. Surveys shall be consistent with the U.S. Fish and Wildlife Service's Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise (*Gopherus agassizii*) (2019). The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows). In the event that ~~burrowing owls and/or~~ desert tortoise are found within the Project site and any off-site areas in which construction activities, including staging, would occur, work shall be halted immediately and consultation shall occur with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize "take" of ~~burrowing owls and/or~~ desert tortoise. If ground disturbing activities on the Project site in these areas are delayed or suspended for more than 30 days after the preconstruction survey, the Project area shall be resurveyed for ~~burrowing owls and~~ desert tortoise.

The clarifications to **MM BIO-1** do not constitute "substantial revision" as defined in State CEQA Guidelines Section 15073.5; therefore, recirculation of the Draft IS/MND is not required.

Response to Comment B-5:

As recommended by CDFW, **MM BIO-2** will be clarified, as shown below.

MM BIO-2: In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. ~~If site-preparation activities for an implementing project are proposed during the nesting/breeding season (February 1 to August 31),~~ Regardless of the time of year, a pre-activity field survey shall be conducted by a qualified biologist no more than 3 days prior to any ground disturbing activities on the Project site prior to the issuance of grading permits for such project, to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks, flushing suddenly from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors). If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine its status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the active nest is appropriate. If active nests are not located within the implementing project site and an appropriate buffer of 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected bird nests (nonlisted), or 100 feet of sensitive or protected songbird nests, construction may be conducted during the nesting/breeding season. The qualified biologist shall monitor the active nest(s) at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall use their best professional judgement to determine the frequency for monitoring all existing active nests. Monitoring efforts shall cease for any given nest once that nest is determined inactive. However, if active nests are located during the pre-activity field survey, no grading or heavy equipment activity shall take place within at least 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected (under MBTA or California Fish and Game Code) bird nests (nonlisted), or within 100 feet of sensitive or protected songbird nests until the nest is no longer active. If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site, construction in the vicinity of the nest shall immediately halt and the County shall contact CDFW Inland Deserts Region 6.

The clarifications to **MM BIO-2** do not constitute “substantial revision” as defined in State CEQA Guidelines Section 15073.5; therefore, recirculation of the Draft IS/MND is not required.

Response to Comment B-6:

As recommended by CDFW and discussed in [Response to Comment B-4](#), above, mitigation measure **MM BIO-3** will be added, as shown below, to provide a separate mitigation measure for burrowing owl. The Project has already completed a Burrowing Owl Habitat Assessment as part of the General Biological Resources Assessment included as Appendix B of the IS/MND, which stated that the Project site does not contain suitable habitat for burrowing owl due to the lack of suitable burrows (IS/MND, pp. 31 - 32). As such, the language recommended by CDFW regarding conducting a habitat assessment is not required.

MM BIO-3: Presence/absence surveys for burrowing owl shall be conducted by a qualified biologist no less than 14 days prior to the initiation of ground disturbing Project-related activities and again within 24-hours prior to ground disturbance within the Project site. Surveys shall be consistent with the California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Applicant shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Applicant shall obtain a California Endangered Species Act Incidental Take Permit from CDFW.

The addition of **MM BIO-3** does not constitute a “substantial revision” as defined in State *CEQA Guidelines* Section 15073.5; therefore, recirculation of the Draft IS/MND is not required.

Response to Comment B-7:

The request to report any special-status species and natural communities detected during Project surveys to the California Natural Diversity Database (CNNDDB) is noted. This comment does not question the content or conclusions of the IS/MND.

Response to Comment B-8:

The environmental document filing fee associated with a mitigated negative declaration will be paid at the time the Notice of Determination is filed with San Bernardino County clerk. This comment does not question the content or conclusions of the IS/MND.

Response to Comment B-9:

The County appreciates CDFW’s participation in the CEQA process. This comment does not question the content or conclusions of the IS/MND.

Response to Letter B, Attachment A:

The suggested MMRP in Attachment A is noted. The MMRP for the proposed Project is enclosed under separate cover. This comment does not question the content or conclusions of the IS/MND.

SECTION 3.0 ERRATA

Where comments received on the IS/MND and the County responses resulted in changes to the text of the Draft IS/MND, such changes are shown in the text herein using the following conventions:

- Text added to the IS/MND is shown as double underline
- Text deleted from the IS/MND is shown as ~~striketrough~~

The textual changes to the IS/MND do not constitute “substantial revision” as defined in State *CEQA Guidelines* Section 15073.5(b); therefore, recirculation of the Draft IS/MND is not required. The applicable section numbers and/or page numbers from the Draft IS/MND are also provided where necessary for easy reference.

Section IV. Biological Resources

Page 32 of the IS/MND, under Section IV (a), has been modified as follows:

Additionally, habitat assessments were conducted for the desert tortoise, burrowing owl, and Mohave ground squirrel since these species are known to occur in the region. During the habitat assessment it was determined that the Project site does not contain suitable habitat for the desert tortoise. Due to the high disturbed nature of the Project vicinity, and the presence of roadways and developments the desert tortoise is not anticipated to migrate and move onto the site. Additionally, no signs nor suitable burrows were found on the Project site; thus, it was concluded that the Project site does not contain suitable habitat for the burrowing owl and that no burrowing owls are currently inhabiting the site. Furthermore, due to the lack of suitable burrows it is not anticipated that any burrowing owls will be impacted. Similarly, it was determined that the Project site does not contain suitable habitat for the Mohave ground squirrel. Nonetheless, there is a potential for both the desert tortoise and burrowing owl to move into the Project; thus, the Project shall comply with mitigation measures **MM BIO-1** and **MM BIO-3**, below, to ensure both species are absent from the Project site when construction commences.

Page 33 of the IS/MND, under Section IV (a), has been modified as follows:

Therefore, through compliance with **MM BIO-1**, ~~and~~ **MM BIO-2** and **MM BIO-3**, the Project would not have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service. Thus, impacts are **less than significant with mitigation incorporated**.

MM BIO-1: Preconstruction surveys for ~~burrowing owls and~~ desert tortoise shall be conducted by a qualified biologist no more less than 14 days prior to the start of Project-related activities ~~and within 24 hours~~ prior to ground disturbance within the Project site and any off-site areas in which construction activities, including staging, would occur to determine if any burrowing owls and/or desert tortoise have moved in. Surveys shall be consistent with the U.S. Fish and Wildlife Service's Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise (*Gopherus agassizii*) (2019). The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows). In the event that ~~burrowing owls and/or~~ desert tortoise are found within the Project site and any off-site areas in which

construction activities, including staging, would occur, work shall be halted immediately and consultation shall occur with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize “take” of burrowing owls and/or desert tortoise. If ground disturbing activities on the Project site in these areas are delayed or suspended for more than 30 days after the preconstruction survey, the Project area shall be resurveyed for burrowing owls and desert tortoise.

MM BIO-2: In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. ~~If site-preparation activities for an implementing project are proposed during the nesting/breeding season (February 1 to August 31),~~ Regardless of the time of year, a pre-activity field survey shall be conducted by a qualified biologist no more than 3 days prior to any ground disturbing activities on the Project site prior to the issuance of grading permits for such project, to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks, flushing suddenly from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors). If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine its status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the active nest is appropriate. If active nests are not located within the implementing project site and an appropriate buffer of 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected bird nests (nonlisted), or 100 feet of sensitive or protected songbird nests, construction may be conducted during the nesting/breeding season. The qualified biologist shall monitor the active nest(s) at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall use their best professional judgement to determine the frequency for monitoring all existing active nests. Monitoring efforts shall cease for any given nest once that nest is determined inactive. However, if active nests are located during the pre-activity field survey, no grading or heavy equipment activity shall take place within at least 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected (under MBTA or California Fish and Game Code) bird nests (nonlisted), or within 100 feet of sensitive or protected songbird nests until the nest is no longer active. If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site, construction in the vicinity of the nest shall immediately halt and the County shall contact CDFW Inland Deserts Region 6.

MM BIO-3: Presence/absence surveys for burrowing owl shall be conducted by a qualified biologist no less than 14 days prior to the initiation of ground disturbing Project-related activities and again within 24-hours prior to ground disturbance within the Project site. Surveys shall be consistent with the California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Applicant shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Applicant shall obtain a California Endangered Species Act Incidental Take Permit from CDFW.

Page 34 of the IS/MND, under Section IV (d), has been modified as follows:

Less Than Significant Impact with Mitigation Incorporated. During the field survey it was concluded that the Project site did not serve as a wildlife corridor due to the disturbed nature of the site. Additionally, RCA did not identify habitat on the site that would support wildlife movement. As such, implementation of the proposed Project is not expected to have a significant impact to wildlife movement opportunities or prevent local wildlife movement through the area since there is ample undisturbed habitat adjacent to the Project Site to support wildlife movement opportunities. However, since there is potential for desert tortoise or burrowing owls to move into the Project site from the adjacent open spaces, the Project shall comply with mitigation measure **MM BIO-1**, ~~and **MM BIO-3**~~ to ensure that there are no burrowing owls or desert tortoise species on the Project site at the time for ground disturbance. The Project shall also comply with mitigation measure **MM BIO-2**, which requires pre-activity field surveys during the nesting/breeding season (February 1 to August 31) and buffers if grading or heavy equipment activity must take place during the nesting season and an active nest is present.

Therefore, through compliance with **MM BIO-1**, ~~and **MM BIO-2**~~ and **MM BIO-3** the Project would not substantially interfere with the movement of any native resident or migratory fish or wildlife species or impeded the used of native wildlife nursery sits. Thus, impacts are **less than significant with mitigation incorporated**.

Page 35 of the IS/MND, under Section IV, has been modified as follows:

Therefore, no significant adverse impacts are identified or anticipated with the implementation of Mitigation Measures **BIO-1, ~~and **BIO-2**~~ and **BIO-3**.**

Section XXI. Mandatory Findings of Significance

Page 80 of the IS/MND, under Section XXI (a), has been modified as follows:

Less Than Significant Impact with Mitigation Incorporated. As discussed in *Section IV (a) through (f)* the proposed Project area does not contain sensitive biological resources that could potentially be affected by the proposed Project. All potentially significant impacts to biological resources would be avoided or reduced to a less than significant impact with the implementation of mitigation measures **MM BIO-1**, ~~and **MM BIO-2**~~ and **MM BIO-3** set forth in *Section IV. Biological Resources* of this Initial Study.

Section XXII. Mitigation Measures

Page 83 of the IS/MND, under Section XXII, has been modified as follows:

Mitigation Measure BIO-1:

Preconstruction surveys for ~~burrowing owls and~~ desert tortoise shall be conducted by a qualified biologist ~~no more less~~ no more than 14 days prior to the start of Project-related activities ~~and within 24 hours prior to ground disturbance within the Project site and any off-site areas in which construction activities, including staging, would occur~~ to determine if any ~~burrowing owls and/or~~ desert tortoise have moved in. Surveys shall be consistent with the U.S. Fish and Wildlife Service's Preparing for any Action that May Occur within the Range of the Mojave Desert Tortoise (*Gopherus agassizii*) (2019). The survey shall utilize perpendicular survey routes and ensure 100 percent visual coverage for desert tortoise and their sign (e.g., scat, tracks, burrows). In the event that ~~burrowing owls and/or~~ desert tortoise are found within the Project site ~~and any off-site areas in which construction activities, including staging, would occur~~, work shall be halted immediately and consultation shall occur with the California Department of Fish and Wildlife and United States Fish and Wildlife Service to discuss specific mitigation measures and or to authorize "take" of ~~burrowing owls and/or~~ desert tortoise. If ground disturbing activities ~~on the Project site in these areas~~ are delayed or suspended for more than 30 days after the preconstruction survey, the Project area shall be resurveyed for ~~burrowing owls and~~ desert tortoise.

Mitigation Measure BIO-2:

In order to avoid violation of the MBTA and the California Fish and Game Code, site-preparation activities (removal of trees and vegetation) for the Project site shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species. ~~If site-preparation activities for an implementing project are proposed during the nesting/breeding season (February 1 to August 31),~~ Regardless of the time of year, a pre-activity field survey shall be conducted by a qualified biologist no more than 3 days prior to any ground disturbing activities on the Project site prior to the issuance of grading permits for such project; to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone. Surveys shall be conducted during the appropriate time of day/night, during appropriate weather conditions. Surveys shall encompass all suitable areas including trees, shrubs, bare ground, burrows, cavities, and structures. Pre-construction surveys shall focus on both direct and indirect evidence of nesting, including nest locations and nesting behavior (e.g., copulation, carrying of food or nest materials, nest building, removal of fecal sacks, flushing suddenly from atypically close range, agitation, aggressive interactions, feigning injury or distraction displays, or other behaviors). If a nest is suspected, but not confirmed, the qualified biologist shall establish a disturbance-free buffer until additional surveys can be completed, or until the location can be inferred based on observations. If a nest is observed, but thought to be inactive, the qualified biologist shall monitor the nest for one hour (four hours for raptors) prior to approaching the nest to determine its status. The qualified biologist shall use their best professional judgement regarding the monitoring period and whether approaching the active nest is appropriate. ~~If active nests are not located within the implementing project site and an appropriate buffer of 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected bird nests (nonlisted), or 100 feet of sensitive or~~

~~protected songbird nests, construction may be conducted during the nesting/breeding season. The qualified biologist shall monitor the active nest(s) at the onset of Project activities, and at the onset of any changes in Project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. The qualified biologist shall use their best professional judgement to determine the frequency for monitoring all existing active nests. Monitoring efforts shall cease for any given nest once that nest is determined inactive. However, if active nests are located during the pre-activity field survey, no grading or heavy equipment activity shall take place within at least 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected (under MBTA or California Fish and Game Code) bird nests (nonlisted), or within 100 feet of sensitive or protected songbird nests until the nest is no longer active. If at any time during Project activities, a California Endangered Species Act listed bird species is observed nesting on site, construction in the vicinity of the nest shall immediately halt and the County shall contact CDFW Inland Deserts Region 6.~~

Mitigation Measure BIO-3:

Presence/absence surveys for burrowing owl shall be conducted by a qualified biologist no less than 14 days prior to the initiation of ground disturbing Project-related activities and again within 24-hours prior to ground disturbance within the Project site. Surveys shall be consistent with the California Department of Fish and Wildlife 2012 Staff Report on Burrowing Owl Mitigation. If burrowing owl is identified on the Project site or within the vicinity of the Project site, the Project Applicant shall immediately halt all Project activities and notify CDFW and fully avoid impacts to burrowing owl. If impacts to burrowing owl cannot be fully avoided, the Project Applicant shall obtain a California Endangered Species Act Incidental Take Permit from CDFW.

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EXHIBIT I

PROJECT NOTICE COMMENT LETTERS

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Mujica, Oliver

From: Mark Cooper <mark@chasemackenzie.com>
Sent: Friday, August 5, 2022 10:18 AM
To: Khan, Azhar
Subject: Support for The River's Edge Ranch Expansion Project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

The River's Edge Ranch is making a positive impact on our community. I support this project.
Reference Project: PROJ-2021-00153, APN 0453-062-14

Mujica, Oliver

From: Big Rob <robertcota40@gmail.com>
Sent: Friday, August 5, 2022 9:33 AM
To: Khan, Azhar
Subject: "Support for The River's Edge Ranch Expansion Project"

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

"reference project: PROJ-2021-00153, APN 0453-062-14"

I have seen how The Ranch has transformed broken men, with the help of The Lord, into functioning members of the community. Help be a blessing to those who have a chance at redemption. MY family and I SUPPORT this project.

Thank You

Robert Cota

Mujica, Oliver

From: Darrol Irvin <djirvin54@yahoo.com>
Sent: Friday, August 5, 2022 7:32 AM
To: Khan, Azhar
Subject: The River's Edge expansion project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

My wife and me support this project
Sent from my iPhone

Mujica, Oliver

From: Terri Lamberth <grandson24@yahoo.com>
Sent: Friday, August 5, 2022 8:23 AM
To: Khan, Azhar
Subject: Support for the Rivers Edge Ranch Expansion Project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

I totally support this project. Reaching more men through Gods word and hard work. I have seen results of this Ranch. Positive.

Sent from my iPhone

Mujica, Oliver

From: Steve Laponis <stevelaponis@gmail.com>
Sent: Friday, August 5, 2022 6:23 AM
To: Khan, Azhar
Subject: Rivers Edge Ranch Expansion

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

Dear Sir,

The River's Edge Ranch is making a positive impact on our community. I support this project.
Reference Project: PROJ-2021-00153, APN 0453-062-14.

Sincerely,

Steven Laponis

Mujica, Oliver

From: Christine Mayborn <cmayborn6@gmail.com>
Sent: Friday, August 5, 2022 7:21 AM
To: Khan, Azhar
Cc: Doug Whiteman
Subject: Support for the Rivers Edge Ranch Expansion Project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

Good morning!

I wanted to take a moment to let you know that I support the expansion project for the Rivers Edge Ranch - **Reference Project: PROJ-2021-00153, APN 0453-062-14.**

The River's Edge Ranch is making such a positive impact on our community. I personally know several of the ranchers whose lives were completely turned around because of their time at the ranch. I am a retired school teacher and one of these men is a former student of mine. He's a smart young man with a wonderful family. Unfortunately he made some bad decisions and ended up addicted to drugs and alcohol. He is now clean and sober, has a great job, and has his life back on track. I'm so thankful to the ranch for making such a huge difference, not only in the men's lives, but also in the lives of their families.

Thank you for your consideration in approving this project.

Sincerely,
Christine Mayborn

Mujica, Oliver

From: Yolanda Molina <yo_red_puff@hotmail.com>
Sent: Friday, August 5, 2022 8:42 AM
To: Khan, Azhar
Subject: Riversedge ranch

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

I have been a supporter to The Riversedge Ranch for 8years, I have seen many troubled men turn their lives around, beat addictions and regain their families. The ranch is is a life changer for men who were hopeless and helps turn them into good Godly men who are ready to give back to the community. My grandson went there and is now in on the board of directors. He came out of the Air Force a mess. Now he has a good job and has been restored to the man God wanted him to be. I am eternally grateful to God and the ranch.

Sent from my iPhone

Mujica, Oliver

From: Ed Moss <EDMoss@totalcostinvolved.com>
Sent: Friday, August 5, 2022 9:35 AM
To: Khan, Azhar
Subject: "Support for The River's Edge Ranch Expansion Project" PROJ-2021-00153, APN 0453-062-14

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

My wife, Jill and I have visited the Rivers Edge Ranch and find that it is changing lives and we financially support them and the positive impact they are having in these men's lives. The River's Edge Ranch is making a positive impact on our community. I support this project. PROJ-2021-00153, APN 0453-062-14

Thank You
Ed and Jill Moss

Mujica, Oliver

From: Kaitlynn Murphy <kaitlynnmurphy@icloud.com>
Sent: Friday, August 5, 2022 6:07 AM
To: Khan, Azhar
Subject: Support for The River's Edge Ranch Expansion Project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

To whom it may concern,

I have been a supporter of The Rivers Edge Ranch for many years now and I have seen all the good work they are doing in peoples lives. They have helped so many people over the years to get back on track and to find a better life. This program is an asset to the community. The River's Edge Ranch is making a positive impact on our community. I support this project.

Reference Project: PROJ-2021-00153, APN [0453-062-14](#)

Kaitlynn Szarowicz

Mujica, Oliver

From: Aurora Navejas <navejas78@gmail.com>
Sent: Friday, August 5, 2022 6:32 AM
To: Khan, Azhar
Subject: Reference Project: PROJ-2021-00153, APN 0453-062-14" - "Support for The River's Edge Ranch Expansion Project"

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

- "Support for The River's Edge Ranch Expansion Project"
- **Reference Project: PROJ-2021-00153, APN 0453-062-14"**
- Please approve this project which is helping out the community. This is One of the Projects that I have known that has made a big impact in men's lives compared to so many out there. I believe The River's Edge Ranch is the best place men can go to to restore their lives. If you have any questions, please let me know how I can assist you.
- Blessings,
- Aurora Navejas
- (909) 563-0663

Mujica, Oliver

From: tedruns1957@gmail.com
Sent: Friday, August 5, 2022 11:06 AM
To: Khan, Azhar
Subject: Project 2021-00157 Rivers edge Ranch.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

Attn Mr Knan

As one of the ranch's partner. We believe the approval of this project would positively impact not only the men at the ranch, but the community surrounding the project. These men are learning the value of restoration and servicing others for the good of others. They are learning life's tools as well as becoming men that have eternal purpose. Thank you for approving this project.

Ted Salazar

Sent from my iPhone

Mujica, Oliver

From: ron stephens <einnor8@yahoo.com>
Sent: Friday, August 5, 2022 7:51 AM
To: Khan, Azhar
Cc: Doug Whiteman
Subject: River's Edge Ranch- "reference project: PROJ-2021-00153, APN 0453-062-14"

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

Good morning San Bernardino County Planners office;
This email is in reference to the River's Edge Ranch located in Lucerne Valley. I am a financial supporter as well as a totally committed advocate for the great work that the Ranch is doing in giving these men a "Second chance" at life. Having the privilege to interview many of these men as they also go through our School of Ministry, I can tell you that their stories of redemption are a real testimony to the impact of what is going on at that Ranch.
Thank you for taking the time to read this.

"reference project: PROJ-2021-00153, APN 0453-062-14"

Ron Stephens